

# PROJECT No. 43097

## AVOCA DEPOT SHED REPLACEMENT, AND OFFICE RELOCATION

### FOR

### DEPARTMENT OF TRANSPORT AND PLANNING

### AT

## AVOCA VICROADS DEPOT

## 1-3 LIEBIG ST, AVOCA VIC 3467

### DRAWING SCHEDULE

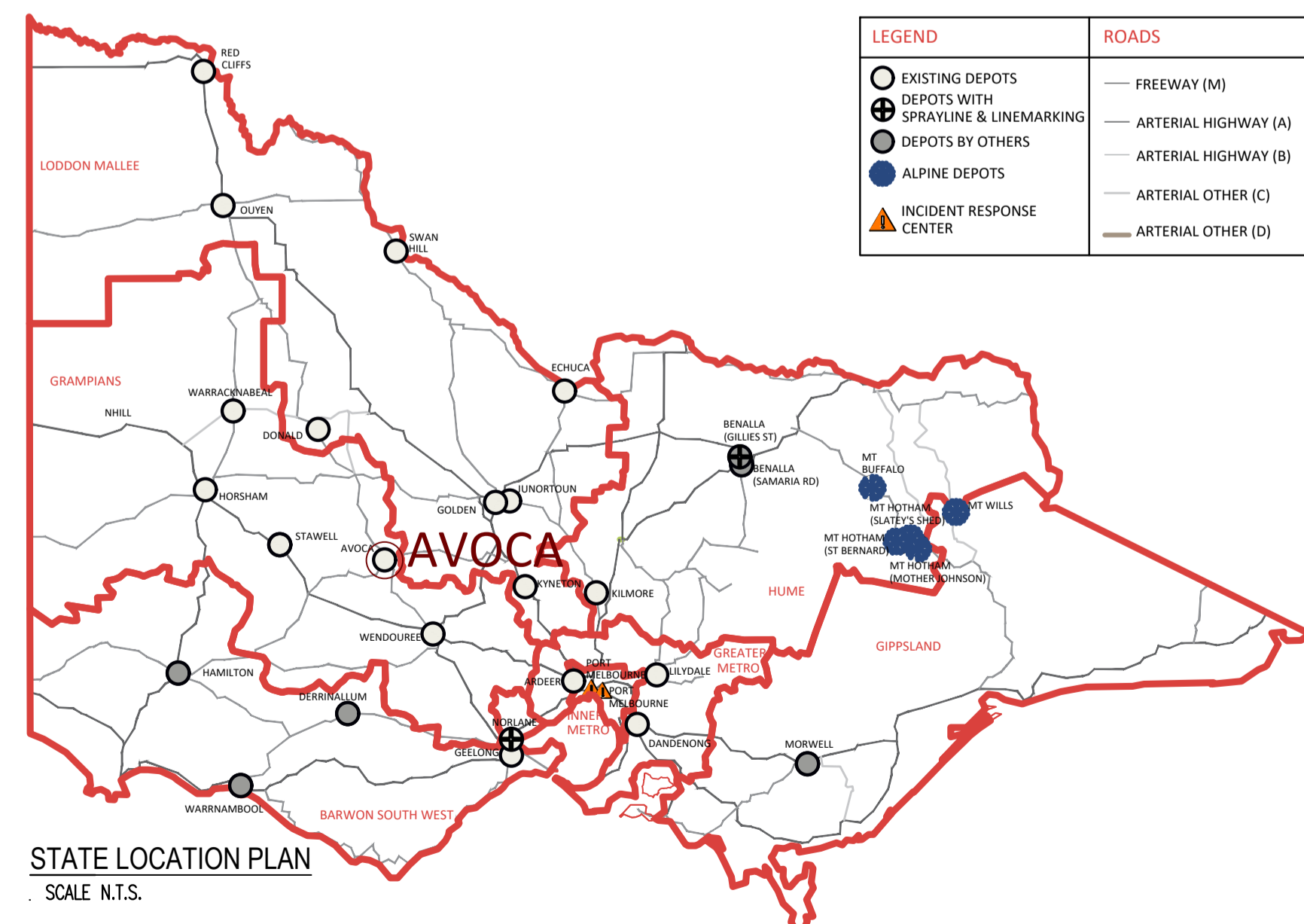
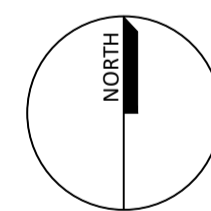
#### ARCHITECTURAL

A-000	N/A	COVER SHEET & LOCATION PLAN
A-010	1:200	EXISTING & DEMOLITION SITE PLAN
A-050	1:200	PROPOSED SITE AND SETOUT PLAN
A-100	1:100	PROPOSED FLOOR PLAN
A-200	1:100	PROPOSED EXTERNAL ELEVATIONS



Aerial photo by maps.dea.ga.gov.au \_DATE20230118\_37.09279°S, 143.46821°E

LOCATION PLAN  
SCALE N.T.S.



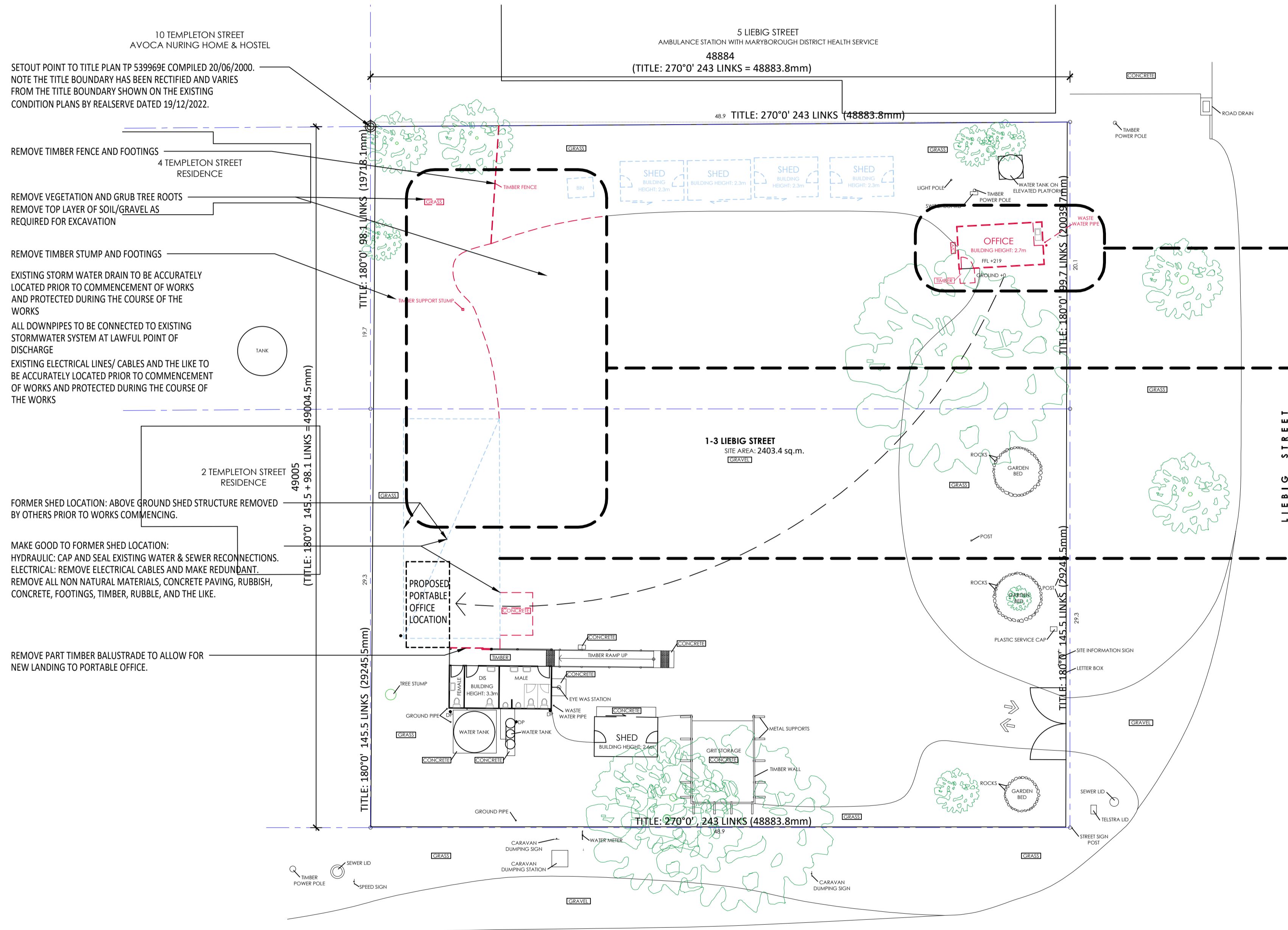
### SITE INFORMATION

<b>SITE AREA:</b>	<b>2411m<sup>2</sup></b>
<b>PROPERTY DETAILS</b>	
From <a href="http://www.planning.vic.gov.au">www.planning.vic.gov.au</a> at 19 February 2024	
Address:	1-3 LIEBIG STREET AVOCA 3467
Local Government Area (Council):	PYRENEES <a href="http://pyrenees.vic.gov.au">pyrenees.vic.gov.au</a>
Council Property Number:	232046950
Planning Scheme:	Pyrenees
Directory Reference:	Vicroads 556 C5
Rural Water Corporation:	Grampians Wimmera Mallee Water
Urban Water Corporation:	Central Highlands Water
Melbourne Water:	Outside drainage boundary
Power Distributor:	POWERCOR

#### FPPV ARCHITECTURE

76 Hoddle Street, Abbotsford VIC 3067  
03 9854 6400 - Tel  
[www.fppv.com.au](http://www.fppv.com.au)

Revision: 0  
Plot date: 20.02.2024



**RELOCATE PORTABLE OFFICE:**  
 HYDRAULIC: WATER & SEWER RECONNECTIONS FOR OFFICE RELOCATION.  
 ELECTRICAL: RECONNECTIONS FOR EXTERNAL & INTERNAL LIGHTING, GPOs & AC.  
 PAD FOOTINGS FOR PORTABLE RELOCATABLE OFFICE ON SKIDS.  
 NEW STEPS AND LANDING FOR DISABILITY COMPLIANCE. CONNECT TO THE EXISTING RAMP NEAR THE AMENITIES.

**NEW PROPOSED WAREHOUSE LOCATION:**  
 ALL STRUCTURES AND FEATURES WITHIN THIS ZONE ARE TO BE DEMOLISHED, AND VEGETATION AND DEBRIS ARE TO BE REMOVED TO ENSURE A CLEAR SITE FOR CONSTRUCTION. EXERCISE CAUTION TO AVOID DAMAGE TO ADJACENT STRUCTURES OR UTILITIES.

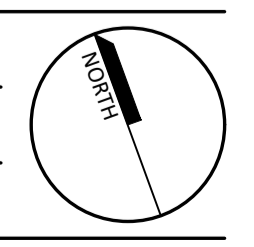
**REPLACE WAREHOUSE:**  
 MAKE GOOD TO FORMER SHED LOCATION

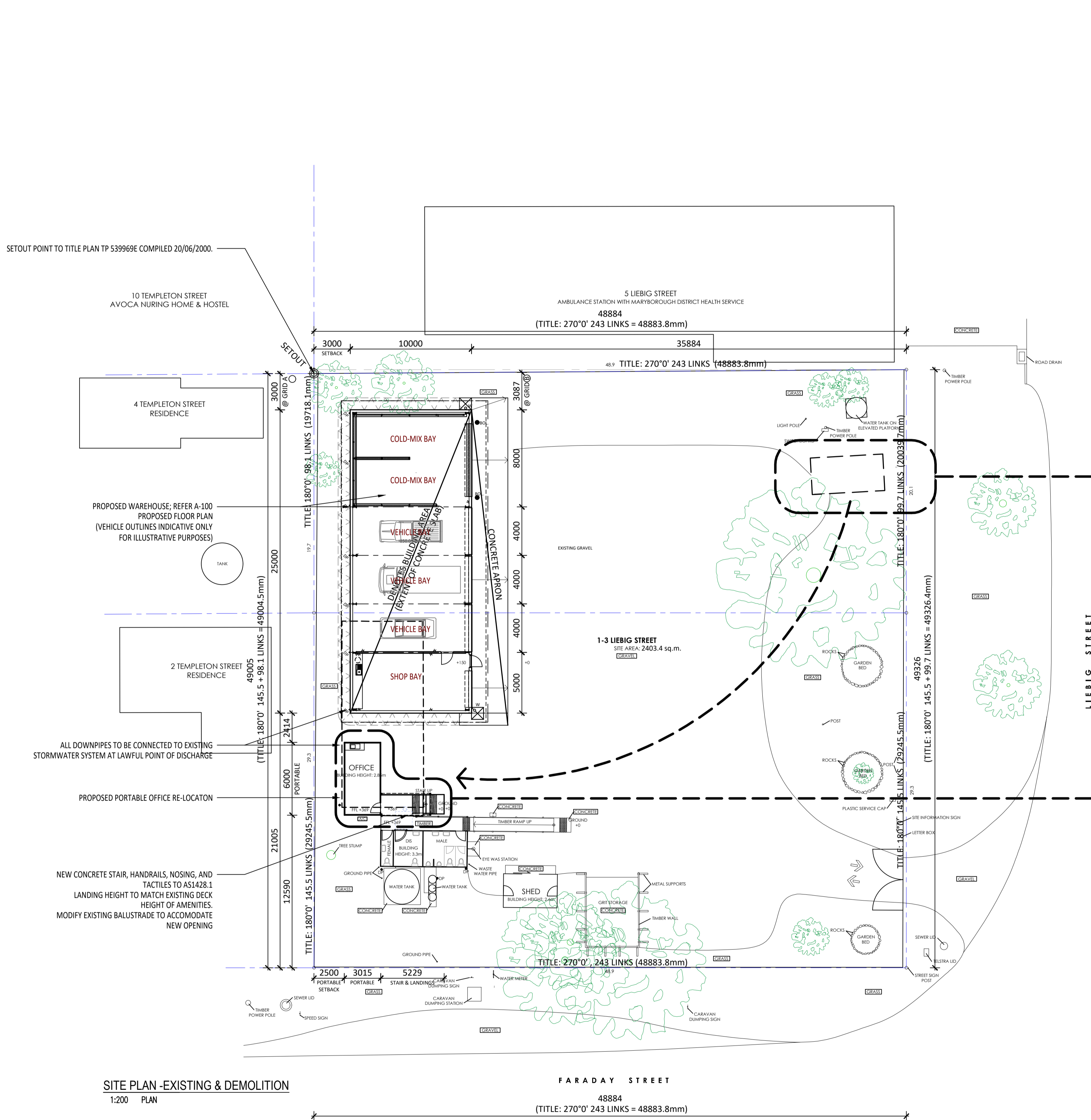


IMAGE OF EXISTING PORTABLE OFFICE.

**SITE PLAN - EXISTING & DEMOLITION**  
 1:200 PLAN

CLIENT'S LOGO	LOCALITY PLAN	NO.	DATE	ITEM	NO.	DATE	ITEM
		0	20.02.24	TOWN PLANNING			





**PROPOSED WAREHOUSE REPLACEMENT:**  
 NEW WAREHOUSE SHED FOR THE PURPOSE OF ROAD MAINTENANCE INFRASTRUCTURE TO REPLACE PREVIOUS STRUCTURE. DESIGN AND CONSTRUCT CONTRACT; CONTRACTOR RESPONSIBLE FOR THE FOLLOWING:  
 STEEL PORTALS, STEEL GIRTS AND PURLINS, COLOURBOND STEEL ROOF CLADDING AND WALLS TO THREE SIDES AND TO SHOP.  
 1No. SHOP ENCLOSED BAY WITH A DOOR (NOM. 5m WIDTH)  
 5No. OPEN BAYS; CONSISTING OF

- 2 BAYS FOR COLD-MIX BITUMEN STORAGE,
  - 4m minimum height clearance required for front end loader at Roller shutter doors.
  - 2No. 4m x 5md x 1.6m MINIMUM concrete bay walls Kolmix 1200kg and crushed rock 1000kg
- 3-BAYS FOR VEHICLE PARKING
  - 3No. 4m width, 10m deep (12m x 10md total)
- 1-BAY ENCLOSED WORKSHOP AREA.
  - 1No. 5m width, 10m deep

INTERNAL LIGHTING TO WORKSHOP AND HIGH-BAY LIGHTING TO OPEN BAYS, EXTERNAL FLOOD LIGHTING  
 GPOS LOCATIONS & HEIGHTS.  
 MOTORIZED ROLLER SHUTTER DOORS TO EACH OPEN BAY (5 BAYS).  
 NEW SUB-BOARD TO POWER THE NEW SHED AND OFFICE RELOCATION.  
 NEW SINKS, AND TAPS.  
 (\*THERE IS AN EXISTING EYE-WASH & SAFETY SHOWER NEXT TO THE TOILETS).  
 CONCRETE SLAB TO WAREHOUSE, WITH 3m CONCRETE APRON SUITABLE FOR FRONT END LOADER (12,000KG OPERATING WEIGHT).

**MAKE GOOD TO RELOCATED PORTABLE OFFICE:**  
 HYDRAULIC: CAP AND SEAL EXISTING WATER & SEWER RECONNECTIONS FOR OFFICE RELOCATION.  
 ELECTRICAL: REMOVE ELECTRICAL CABLES AND MAKE REDUNDANT.  
 REMOVE ALL NON NATURAL MATERIALS, RUBBISH, CONCRETE, FOOTINGS, TIMBER, RUBBLE, PAD FOOTING AND THE LIKE.

**PROPOSED RELOCATED PORTABLE OFFICE LOCATION:**  
 FINISHED FLOOR LEVEL HEIGHT TO MATCH THE LEVEL OF THE EXISTING TIMBER DECK TO THE EXISTING TOILETS.  
 HYDRAULIC: WATER & SEWER RECONNECTIONS FOR OFFICE RELOCATION.  
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SITE PLAN -EXISTING & DEMOLITION  
 1:200 PLAN

PROPOSED SITE AND SETOUT PLAN  
 1:100

**FPPV ARCHITECTURE**  
 76 Hoddle Street, Abbotsford VIC 3067  
 03 9854 6400 - Tel  
 www.fppv.com.au

NO.	DATE	ITEM	NO.	DATE	ITEM
0	20.02.24	TOWN PLANNING	SP		

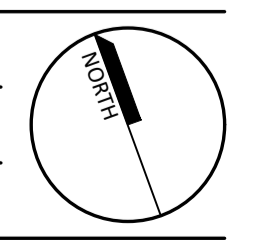
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CLIENT  
**Department of Energy, Environment and Climate Action (DEECA)**  
 PROJECT ADDRESS  
**1-3 LIEBIG STREET, AVOCA, VICTORIA 3467**

PROJECT CAPTAIN  
**SP**  
 DRAWN  
**SP**  
 CHECKED BY  
**PV**  
 PLOT DATE  
**20.02.2024**

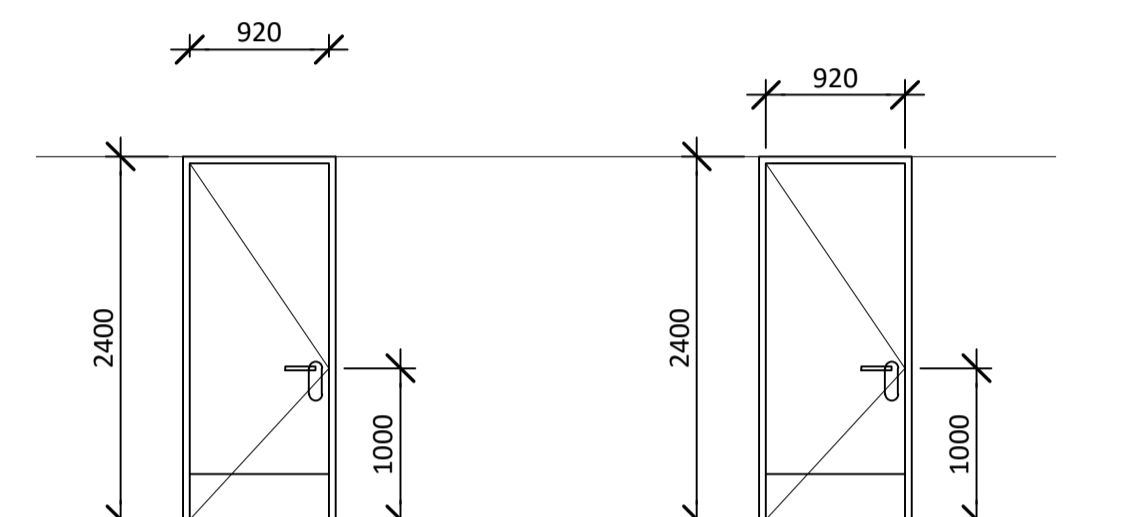
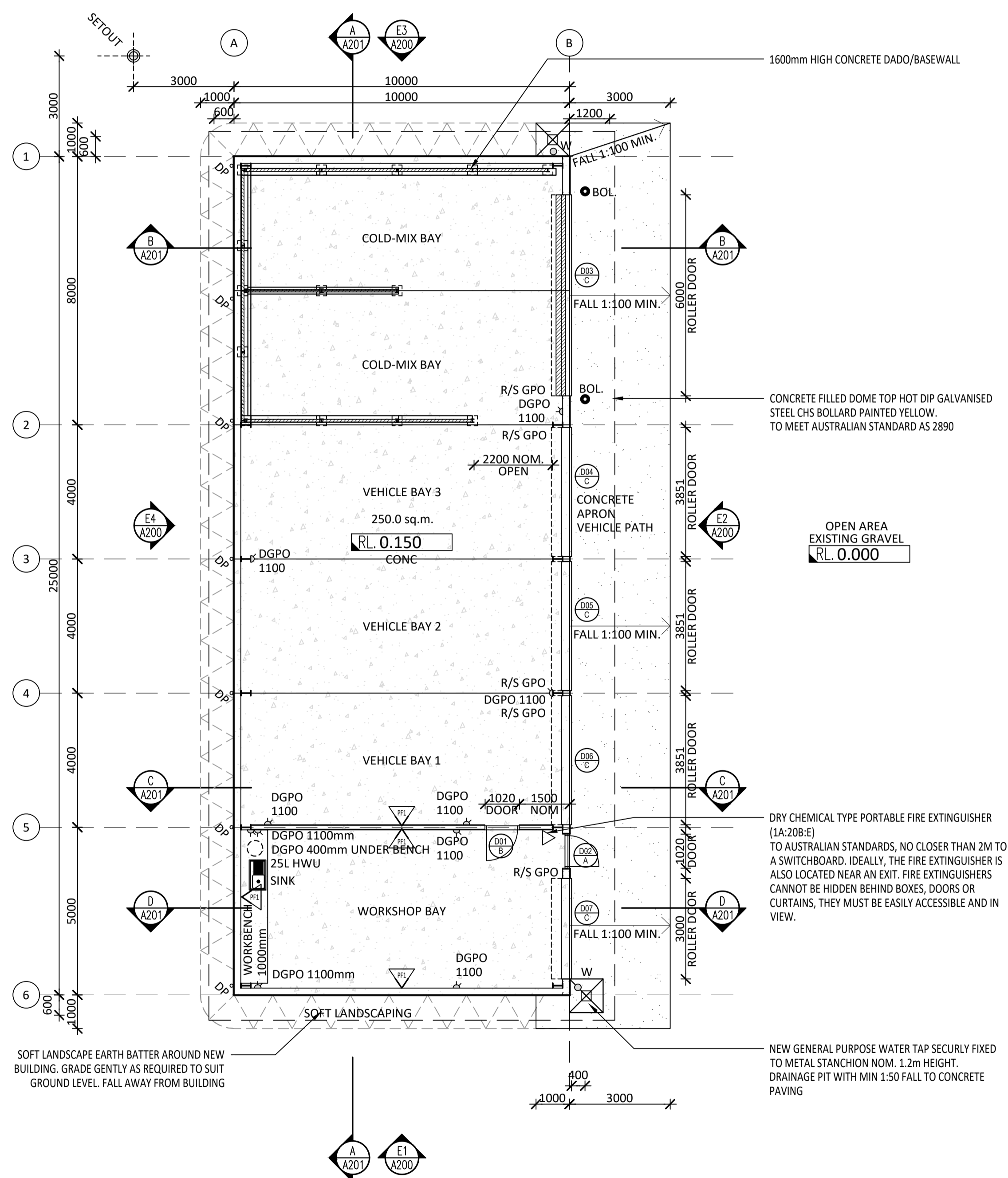
PROJECT TITLE  
**VICROADS AVOCA DEPOT - NEW WAREHOUSE, AND OFFICE PORTABLE RELOCATION.**  
 DRAWING  
**PROPOSED SITE AND SETOUT PLAN**

PROJECT No.  
**43097**  
 SCALE  
**1:200**  
 DRAWING NUMBER  
**A - 050**  
 TOWN PLANNING



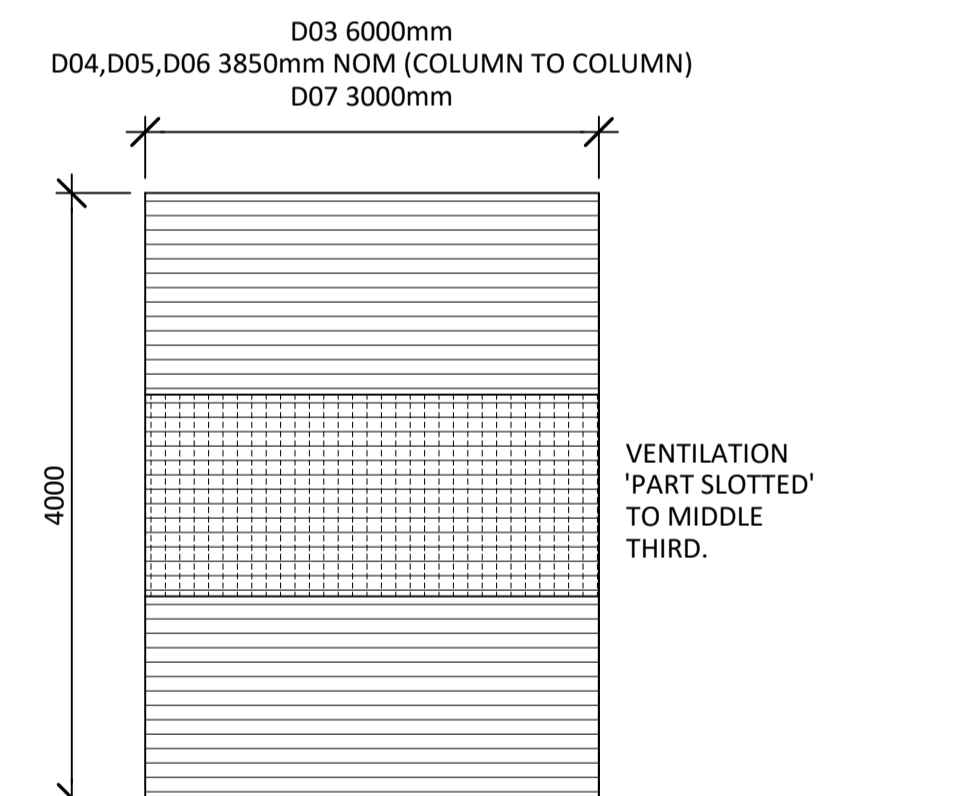
FINISHES:	
	INTERNAL WALL SHEETING, 'WHITE' (WHITE INDICATIVE), PAINT FINISH.
	WALL & ROOF SHEETING: COLORBOND CUSTOM ORB, 'SURFMIST' (CREAM/WHITE INDICATIVE)
	COLORBOND ROLLER DOORS, DOOR LEAF, DOOR FRAMES, RAIN WATER GOODS: GUTTERS, DOWNPIPES, 'MONUMENT' (DARK GREY INDICATIVE)
	SOFFIT LINING LYSAGHT PANELRIB ON GALVANISED TOP HATS OR SIMILAR APPROVED. COLOUR: 'SURFMIST'
DOOR LEAF & ROLLER SHUTTER DOORS: TO MATCH COLORBOND 'MONUMENT'	
STRUCTURAL STEEL: HOT DIP GALVANISED.	

LEGEND	
DP	100mm DIAMETER COLORBOND METAL DOWNPIPE, COLOUR 'MONUMENT'.
DGPO	15AMP DOUBLE SOCKET GENERAL POWER OUTLET. EXTERNAL WEATHERPROOF GRADE, IN DUST AND WATER RESISTANT BOX. TYP. 1100MM AFFL UNO
R/S GPO	GPO AND ISOLATOR FOR ROLLER SHUTTER AS REQUIRED BY MANUFACTURER
W	NEW GENERAL PURPOSE WATER TAP ADJACENT TO COLUMN.
SINK	NEW SINGLE BOWL SINK, GRADE 316 ACID RESISTANT STAINLESS STEEL, EASY CLEAN, WITH DRAINING BOARD. TAPHOLES AS REQUIRED TO SUIT TAPWARE TO BE MIXER WITH DUAL LEVER ACTION WITH EXTENDED LEVER, LAB-TYPE HIGH SPOUT (300mm CLEAR) SUCH AS DORF MAXIMUS (OR EQUAL APPROVED). SINK TO BE MOUNTED IN HEAVY DUTY TIMBER BENCHTOP (SUCH AS AUSTRALIAN HARDWOOD (JARRAH, EUROPEAN BEECH, MAPLE, IRON BARK, BRUSHBOX) WITH METAL FRAME, FIXED TO FLOOR. CONNECT TO MAINS WATER SUPPLY. HOT WATER SERVICE 25 LITRE ELECTRIC UNIT.
CONC	STEEL FLOAT CONCRETE WITH SEALANT. REFER TO GENERAL NOTES.
P1	18mm PLYWOOD, PAINT FINISH. REFER TO GENERAL NOTES; WALL CLADDING INTERNAL TO WORKSHOP / OFFICE.



**DOOR D01 TYPE B**  
 FRAME: PRESSED METAL  
 FRAME FINISH: PAINT EXTERNAL GRADE, SEMI GLOSS 'MONUMENT'  
 CORE: SOLID CORE  
 FINISH DOOR: PAINT EXTERNAL GRADE, DOOR CLOSER  
 KICK PLATES: STAINLESS STEEL  
 SIZE: 920x2350  
 THICKNESS: 45  
 INTERNAL DOOR WORKSHOP: D01  
 REFER DOOR NOTES

**DOOR D02 TYPE A**  
 FRAME: PRESSED METAL  
 FRAME FINISH: PAINT EXTERNAL GRADE, SEMI GLOSS 'MONUMENT'  
 CORE: SOLID CORE  
 FINISH DOOR: PAINT EXTERNAL GRADE, 'MONUMENT'  
 DOOR CLOSER  
 KICK PLATES: STAINLESS STEEL  
 SIZE: 920x2350  
 THICKNESS: 45  
 EXTERNAL WEATHER STRIPS  
 EXTERNAL DOOR WORKSHOP: D02  
 REFER DOOR NOTES



**DOOR TYPE C**  
 \* VARIOUS WIDTHS  
 ROLLER SHUTTER DOOR:  
 AIRPORT DOORS, SERIES 100 STEEL,  
 1.0mm THICK 100mm HIGH SLATS  
 FINISH: POWDER COATED STEEL 'MONUMENT'  
 VENTILATION 'PART SLOTTED' TO MIDDLE THIRD.  
 INCLUSIVE OF BOTTOM RAILS, DOOR GUIDES.  
 CONTRACTOR RESPONSIBLE FOR SUPPORTS AND FIXING REQUIREMENTS  
 MOTORISATION: ELECTRICALLY OPERATED:  
 HEAVY DUTY 240v  
 CONTRACTOR TO SUPPLY MAINS POWER AND ISOLATOR  
 GPO AS REQUIRED  
 REMOTE ACCESS CONTROLLERS

DOOR WORKSHOP/VEHICLE BAYS/COLD-MIX:  
 D03, D04, D05, D06, D07 (EXTERNAL WALLS)

**PROPOSED FLOOR PLAN**  
 1:100

**FPPV ARCHITECTURE**  
 76 Hoddle Street, Abbotsford VIC 3067  
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NO.	DATE	ITEM	SP
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NO.	DATE	ITEM	C

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**CLIENT**  
 Department of Energy, Environment and Climate Action (DEECA)

**PROJECT ADDRESS**  
 1-3 LIEBIG STREET, AVOCA, VICTORIA 3467

**PROJECT CAPTAIN**  
 SP  
**DRAWN**  
 SP  
**CHECKED BY**  
 PV  
**PLOT DATE**  
 20.02.2024

**PROJECT TITLE**  
 VICROADS AVOCA DEPOT - NEW WAREHOUSE, AND OFFICE PORTABLE RELOCATION.

**DRAWING**  
 PROPOSED FLOOR PLAN

**PROJECT No.**  
 43097

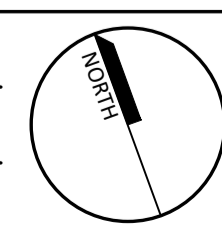
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 1:100

**DRAWING NUMBER**  
 A - 100

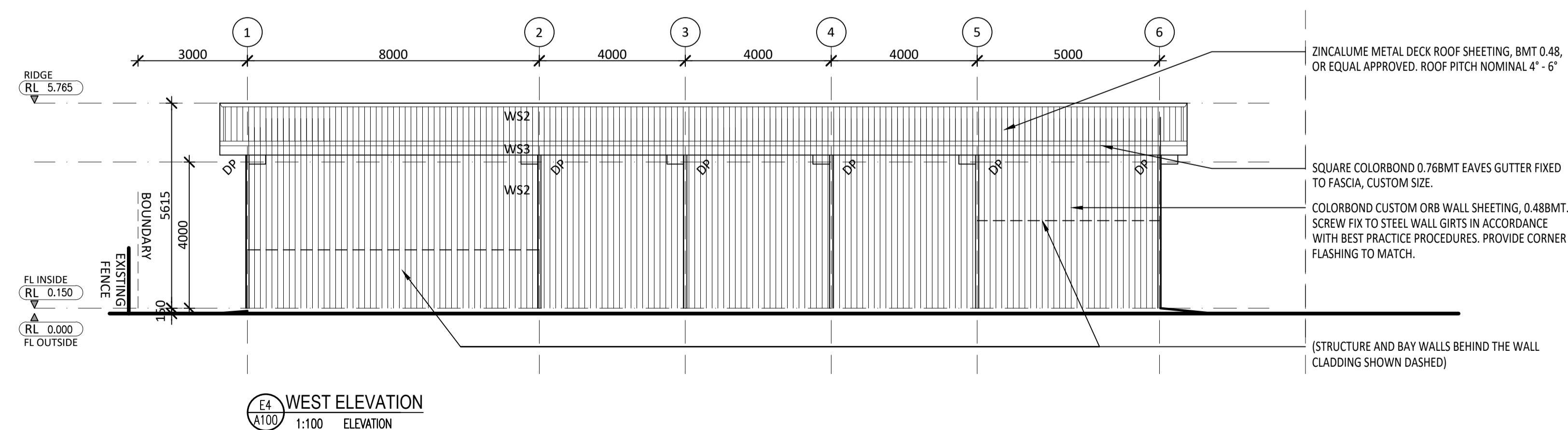
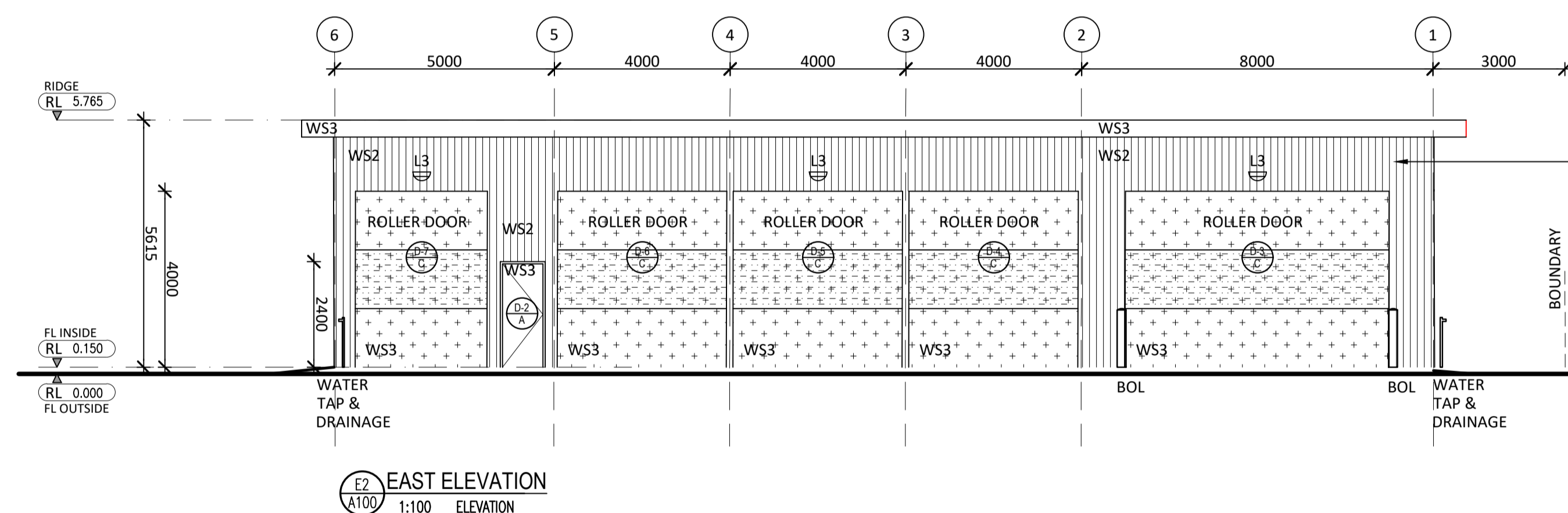
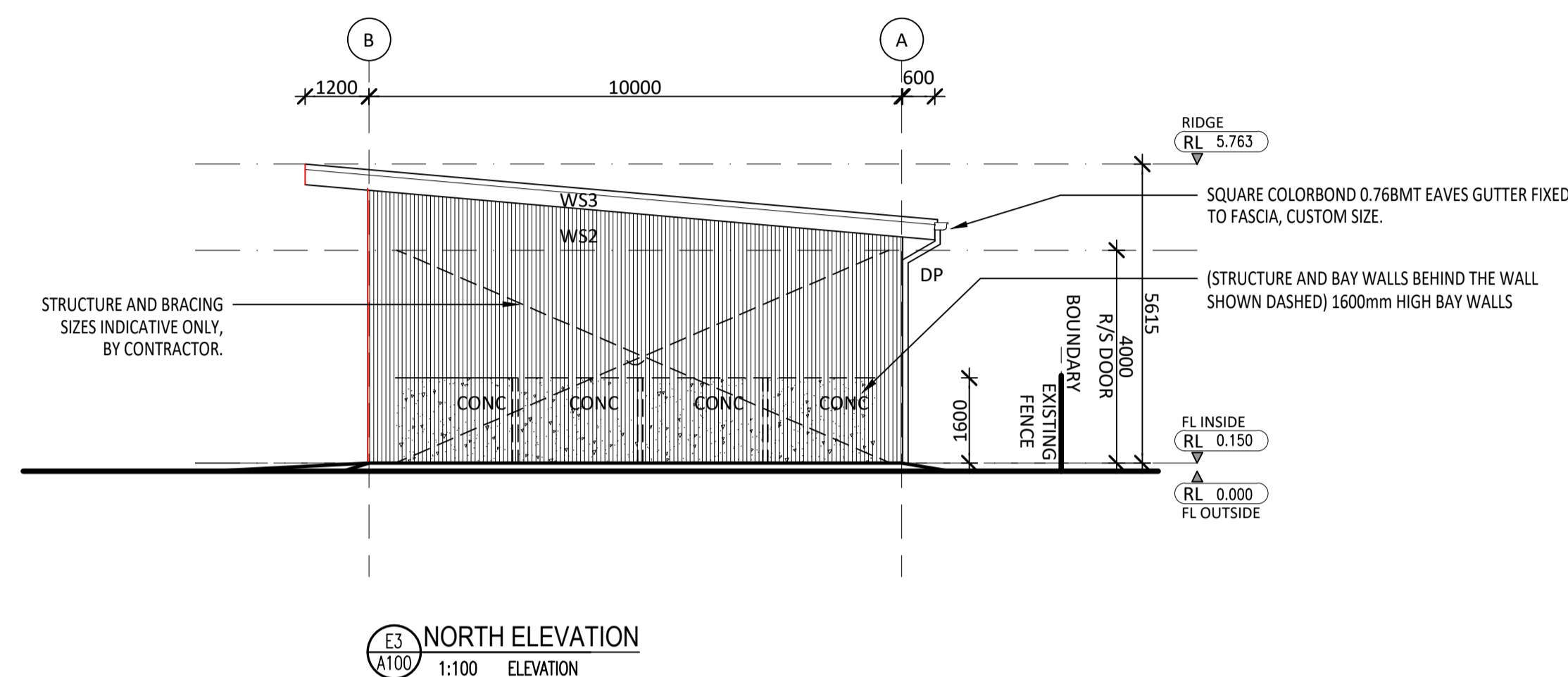
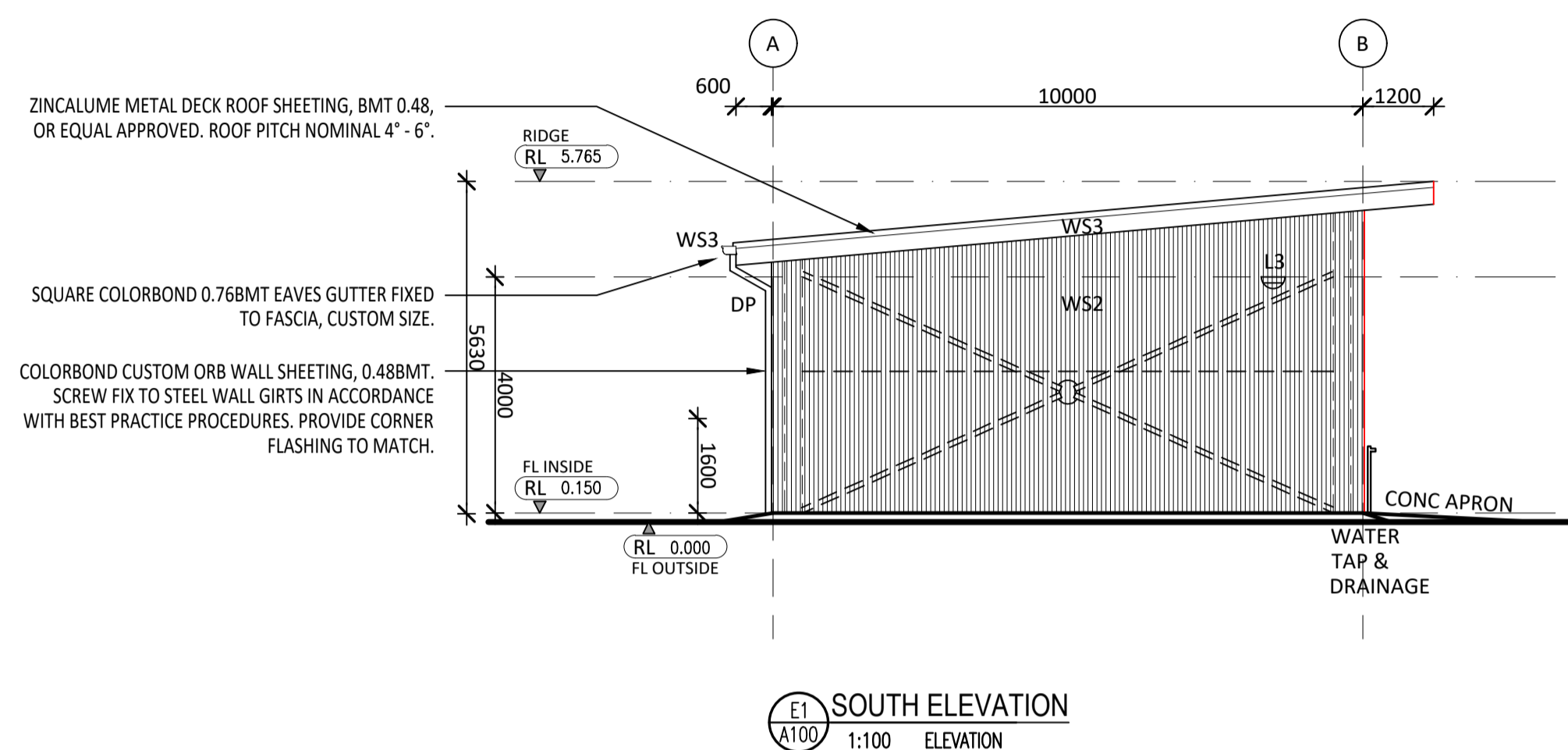
**REVISION**  
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**SHEET SIZE**  
 A1

**DRAWING TYPE**  
 TOWN PLANNING



ELEVATION LEGEND	GENERAL NOTES
DOOR NUMBER AND DOOR TYPE. REFER TO DOOR HARDWARE SPECIFICATION 12858AA BY ENTRO FOR DETAILS	DOOR LEAF, DOOR FRAMES, & ROLLER SHUTTER DOORS: TO MATCH COLORBOND "MONUMENT"  GUTTERS, DOWNPIPES, FASCIA TO BE 'MONUMENT' (DARK GREY INDICATIVE).  STRUCTURAL STEEL: HOT DIP GALVANISED.  CONTRACTOR TO ENSURE PAINT AND ANY ASSOCIATED PREPARATION MATERIALS SELECTED ARE APPROPRIATE AND SHALL MINIMISE MAINTENANCE REQUIREMENTS.
PAINT FINISH 'SURFMIST' (CREAM/WHITE INDICATIVE)	
COLORBOND CUSTOM ORB WALL SHEETING, 'SURFMIST' (CREAM/WHITE INDICATIVE)	
COLORBOND CUSTOM ORB WALL SHEETING, 'MONUMENT' (DARK GREY INDICATIVE)	



CLIENT'S LOGO	LOCALITY PLAN	NO.	DATE	ITEM	SP	C
		0	20.02.24	TOWN PLANNING		

NO.	DATE	ITEM	SP	C

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CLIENT	PROJECT ADDRESS
Department of Energy, Environment and Climate Action (DEECA)	1-3 LIEBIG STREET, AVOCA, VICTORIA 3467

PROJECT CAPTAIN	DRAWN	CHECKED BY	PLOT DATE
SP	SP	PV	20.02.2024

PROJECT TITLE	DRAWING
VICROADS AVOCA DEPOT - NEW WAREHOUSE, AND OFFICE PORTABLE RELOCATION.	PROPOSED EXTERNAL ELEVATIONS

PROJECT No.	SCALE	SHEET SIZE	DRAWING NUMBER	REVISION	DRAWING TYPE
43097	1:100	A1	A - 200	0	TOWN PLANNING

**TENDER ISSUE**  
NOT TO BE USED FOR CONSTRUCTION PURPOSES

**PROPOSED WAREHOUSE REPLACEMENT:**

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(\*THERE IS AN EXISTING EYE-WASH & SAFETY SHOWER NEXT TO THE TOILETS).  
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 SUITABLE FOR FRONT END LOADER (12,000KG OPERATING WEIGHT).

**MAKE GOOD TO RELOCATED PORTABLE OFFICE:**

HYDRAULIC: CAP AND SEAL EXISTING WATER & SEWER RECONNECTIONS FOR OFFICE RELOCATION.

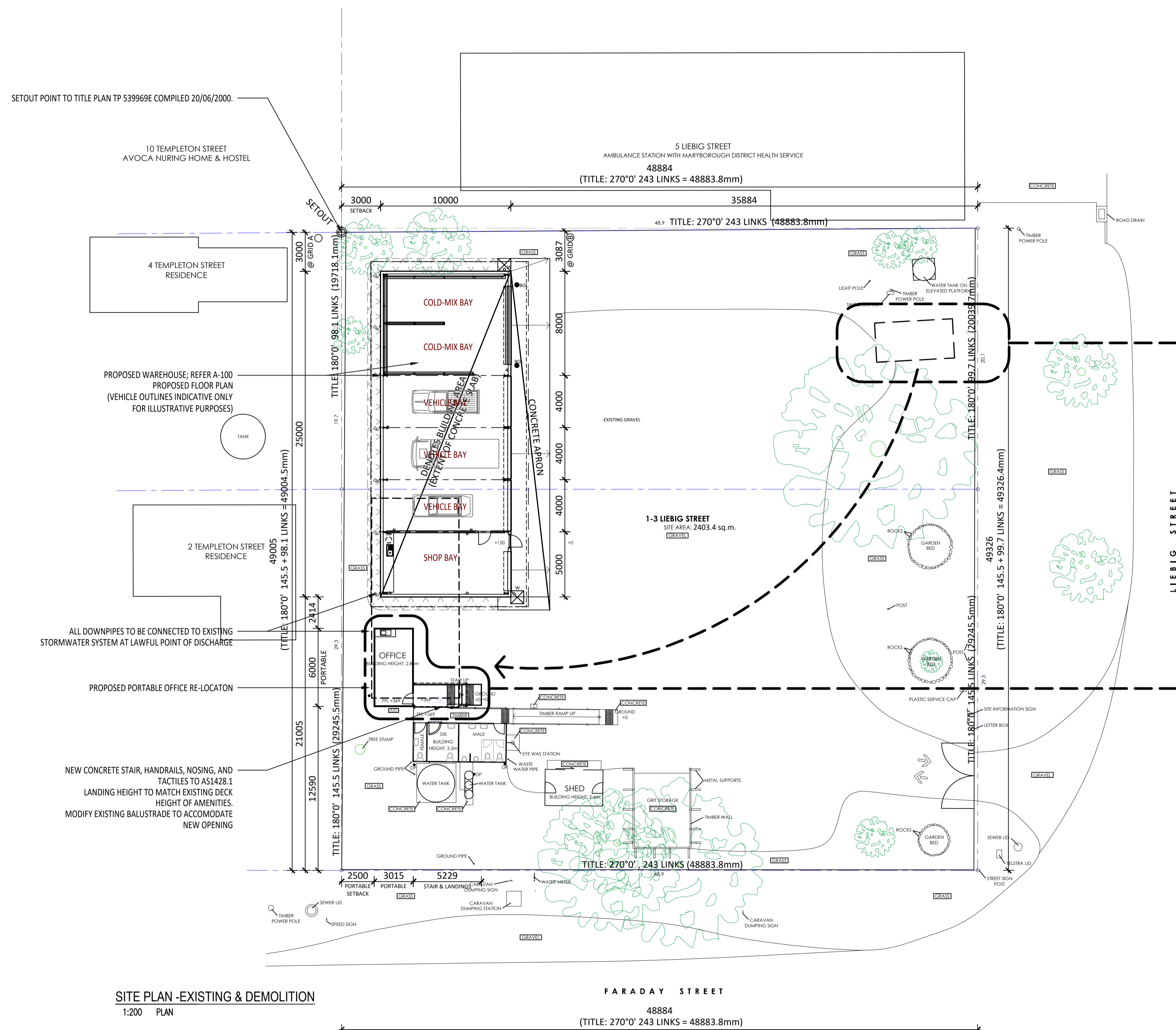
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**SITE PLAN -EXISTING & DEMOLITION**  
 1:200 PLAN

**PROPOSED SITE AND SETOUT PLAN**  
 1:100

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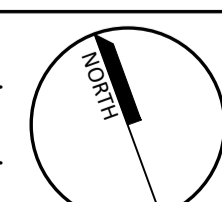
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**1-3 LIEBIG STREET, AVOCA, VICTORIA 3467**

PROJECT CAPTAIN  
**SP**  
 DRAWN  
**SP**  
 CHECKED BY  
**PV**  
 PLOT DATE  
**20.02.2024**

PROJECT TITLE  
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 DRAWING  
**PROPOSED SITE AND SETOUT PLAN**

PROJECT No.  
**43097**  
 SCALE  
**1:200**  
 DRAWING NUMBER  
**A - 050**  
 TOWN PLANNING



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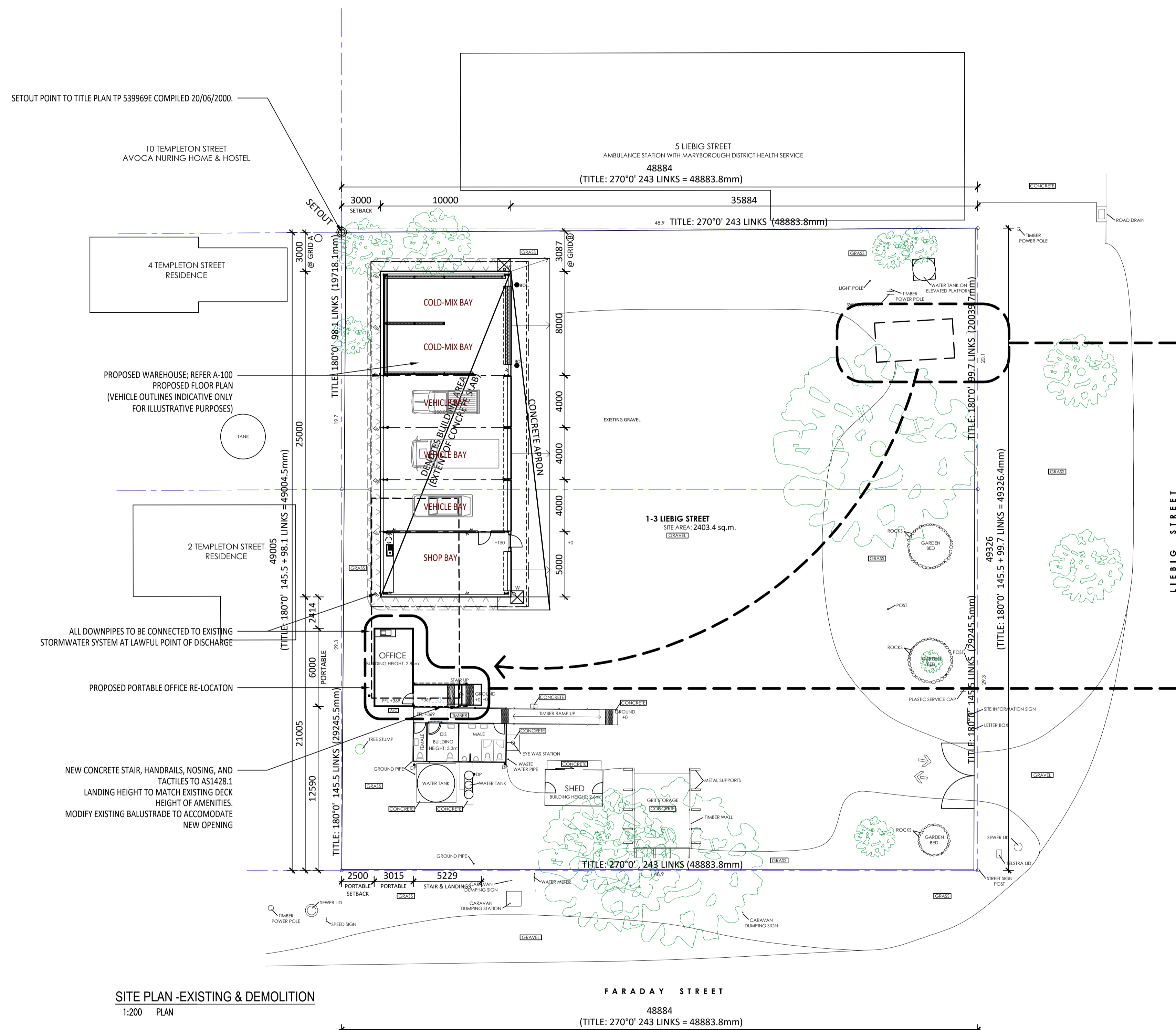
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**SITE PLAN -EXISTING & DEMOLITION**  
1:200 PLAN

**PROPOSED SITE AND SETOUT PLAN**  
1:100

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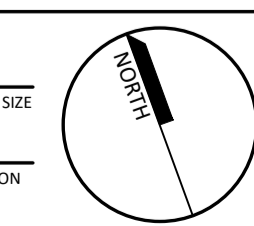
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DRAWING  
**PROPOSED SITE AND SETOUT PLAN**

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**43097**  
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**A - 050**  
REVISION  
**0**  
SHEET SIZE  
**A1**  
REVISION  
**0  
DRAWING TYPE  
**TOWN PLANNING****



**PROJECT No. 43097**  
**AVOCA DEPOT SHED REPLACEMENT, AND OFFICE RELOCATION**  
**FOR**  
**DEPARTMENT OF TRANSPORT AND PLANNING**  
**AT**  
**AVOCA VICROADS DEPOT**  
**1-3 LIEBIG ST, AVOCA VIC 3467**

**DRAWING SCHEDULE**

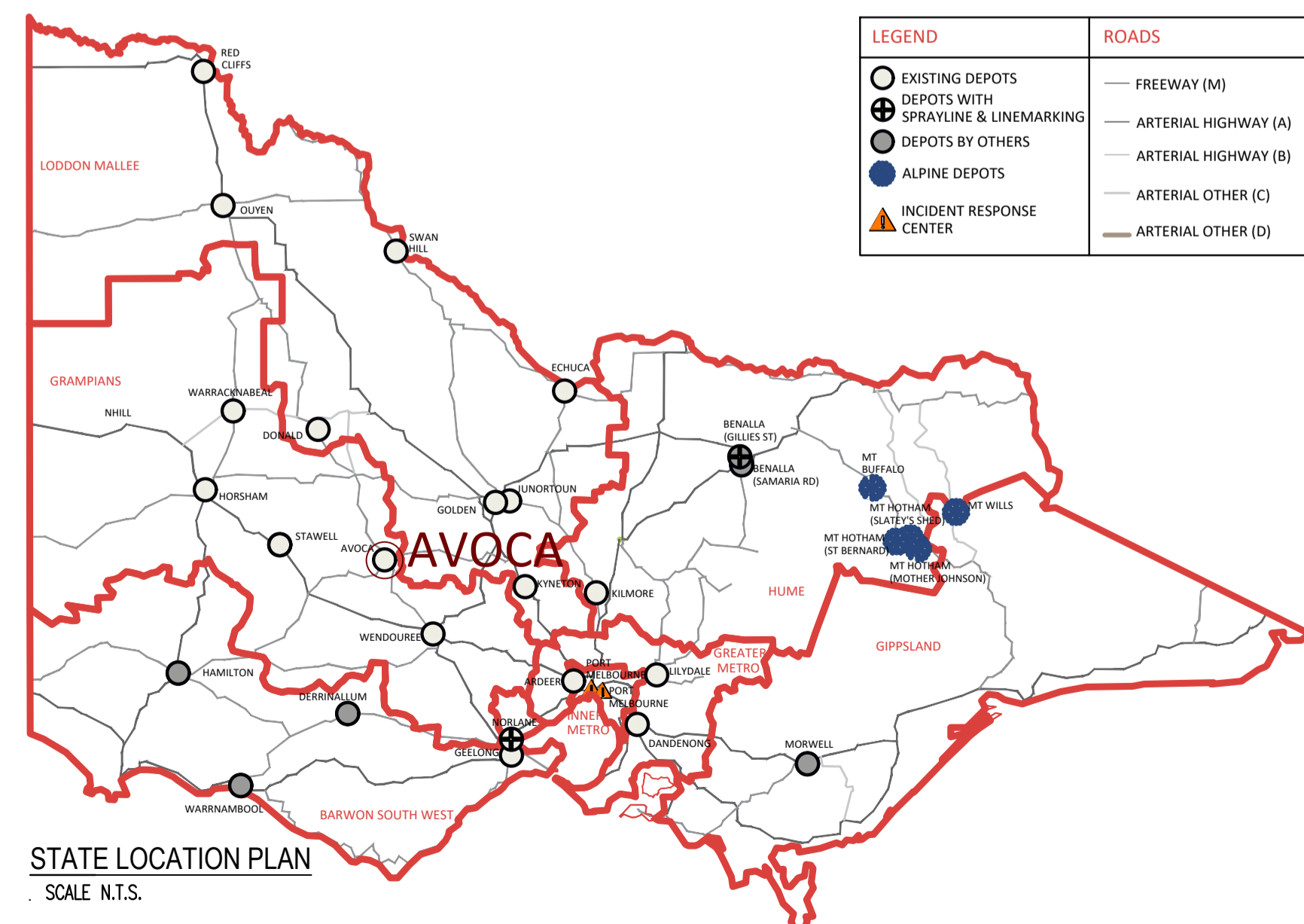
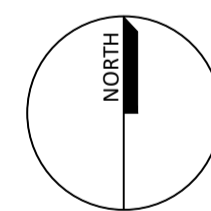
**ARCHITECTURAL**

A-000	N/A	COVER SHEET & LOCATION PLAN
A-010	1:200	EXISTING & DEMOLITION SITE PLAN
A-050	1:200	PROPOSED SITE AND SETOUT PLAN
A-100	1:100	PROPOSED FLOOR PLAN
A-200	1:100	PROPOSED EXTERNAL ELEVATIONS



Aerial photo by maps.dea.ga.gov.au \_DATE20230118\_37.09279°S, 143.46821°E

**LOCATION PLAN**  
SCALE N.T.S.



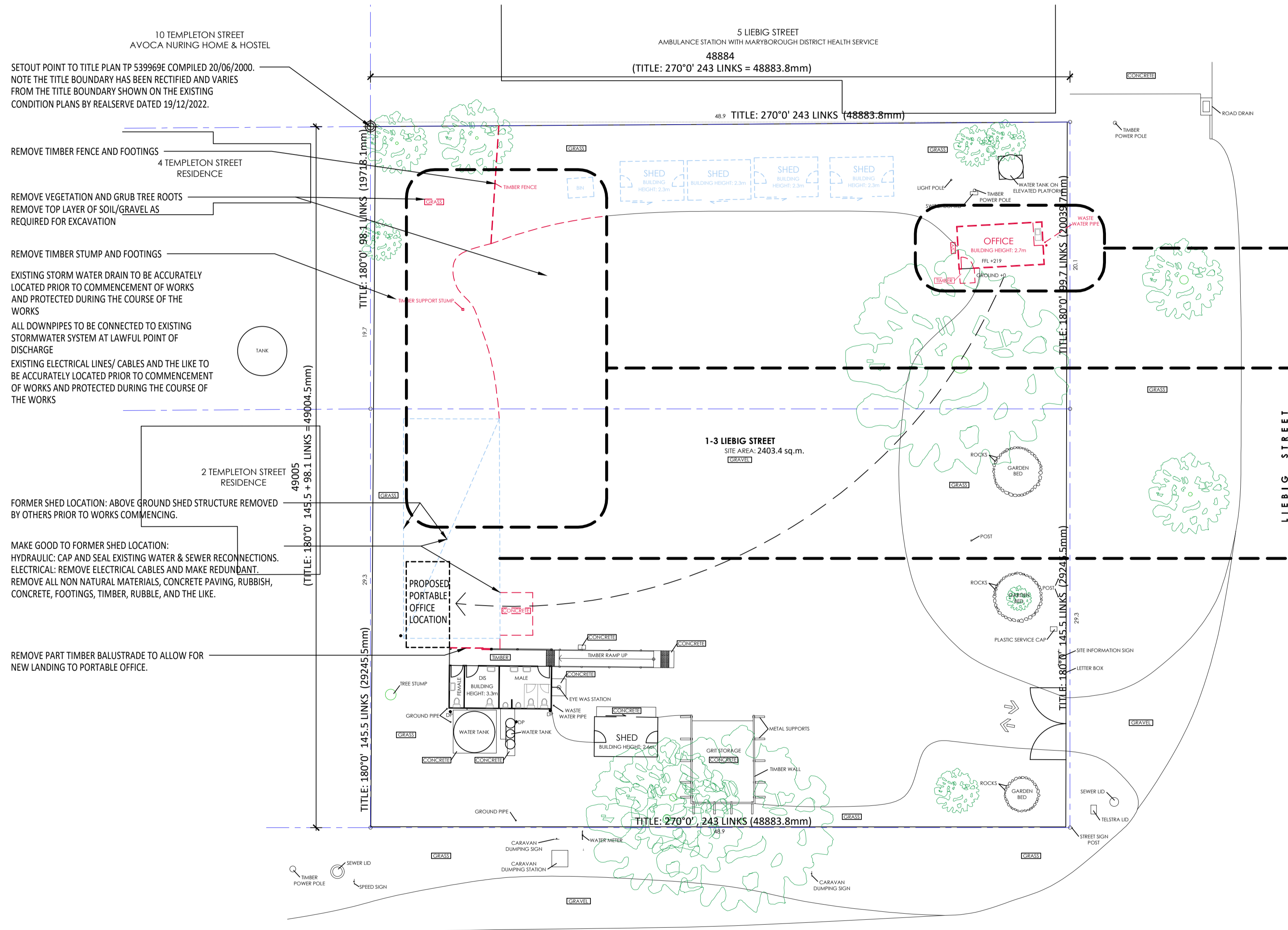
**SITE INFORMATION**

<b>SITE AREA:</b>	<b>2411m<sup>2</sup></b>
<b>PROPERTY DETAILS</b>	
From <a href="http://www.planning.vic.gov.au">www.planning.vic.gov.au</a> at 19 February 2024	
Address:	1-3 LIEBIG STREET AVOCA 3467
Local Government Area (Council):	PYRENEES <a href="http://pyrenees.vic.gov.au">pyrenees.vic.gov.au</a>
Council Property Number:	232046950
Planning Scheme:	Pyrenees
Directory Reference:	Vicroads 556 C5
Rural Water Corporation:	Grampians Wimmera Mallee Water
Urban Water Corporation:	Central Highlands Water
Melbourne Water:	Outside drainage boundary
Power Distributor:	POWERCOR

**FPPV ARCHITECTURE**  
 76 Hoddle Street, Abbotsford VIC 3067  
 03 9854 6400 - Tel  
[www.fppv.com.au](http://www.fppv.com.au)

Revision: 0  
 Plot date: 20.02.2024





SETOUT POINT TO TITLE PLAN TP 539969E COMPILED 20/06/2000. NOTE THE TITLE BOUNDARY HAS BEEN RECTIFIED AND VARIES FROM THE TITLE BOUNDARY SHOWN ON THE EXISTING CONDITION PLANS BY REALSERVE DATED 19/12/2022.

REMOVE TIMBER FENCE AND FOOTINGS  
4 TEMPLETON STREET RESIDENCE

REMOVE VEGETATION AND GRUB TREE ROOTS  
REMOVE TOP LAYER OF SOIL/GRAVEL AS REQUIRED FOR EXCAVATION

REMOVE TIMBER STUMP AND FOOTINGS

EXISTING STORM WATER DRAIN TO BE ACCURATELY LOCATED PRIOR TO COMMENCEMENT OF WORKS AND PROTECTED DURING THE COURSE OF THE WORKS

ALL DOWNPIPES TO BE CONNECTED TO EXISTING STORMWATER SYSTEM AT LAWFUL POINT OF DISCHARGE

EXISTING ELECTRICAL LINES/ CABLES AND THE LIKE TO BE ACCURATELY LOCATED PRIOR TO COMMENCEMENT OF WORKS AND PROTECTED DURING THE COURSE OF THE WORKS

FORMER SHED LOCATION: ABOVE GROUND SHED STRUCTURE REMOVED BY OTHERS PRIOR TO WORKS COMMENCING.

MAKE GOOD TO FORMER SHED LOCATION:  
HYDRAULIC: CAP AND SEAL EXISTING WATER & SEWER RECONNECTIONS.  
ELECTRICAL: REMOVE ELECTRICAL CABLES AND MAKE REDUNDANT.  
REMOVE ALL NON NATURAL MATERIALS, CONCRETE PAVING, RUBBISH, CONCRETE, FOOTINGS, TIMBER, RUBBLE, AND THE LIKE.

REMOVE PART TIMBER BALUSTRADE TO ALLOW FOR NEW LANDING TO PORTABLE OFFICE.

**RELOCATE PORTABLE OFFICE:**  
HYDRAULIC: WATER & SEWER RECONNECTIONS FOR OFFICE RELOCATION.  
ELECTRICAL: RECONNECTIONS FOR EXTERNAL & INTERNAL LIGHTING, GPOs & AC.  
PAD FOOTINGS FOR PORTABLE RELOCATABLE OFFICE ON SKIDS.  
NEW STEPS AND LANDING FOR DISABILITY COMPLIANCE. CONNECT TO THE EXISTING RAMP NEAR THE AMENITIES.

**NEW PROPOSED WAREHOUSE LOCATION:**  
ALL STRUCTURES AND FEATURES WITHIN THIS ZONE ARE TO BE DEMOLISHED, AND VEGETATION AND DEBRIS ARE TO BE REMOVED TO ENSURE A CLEAR SITE FOR CONSTRUCTION. EXERCISE CAUTION TO AVOID DAMAGE TO ADJACENT STRUCTURES OR UTILITIES.

**REPLACE WAREHOUSE:**  
MAKE GOOD TO FORMER SHED LOCATION



IMAGE OF EXISTING PORTABLE OFFICE.

**SITE PLAN - EXISTING & DEMOLITION**  
1:200 PLAN

CLIENT'S LOGO	LOCALITY PLAN	NO.	DATE	ITEM	NO.	DATE	ITEM
		0	20.02.24	TOWN PLANNING			

**PROPOSED WAREHOUSE REPLACEMENT:**

NEW WAREHOUSE SHED FOR THE PURPOSE OF ROAD MAINTENANCE INFRASTRUCTURE TO REPLACE PREVIOUS STRUCTURE. DESIGN AND CONSTRUCT CONTRACT; CONTRACTOR RESPONSIBLE FOR THE FOLLOWING:

STEEL PORTALS, STEEL GIRTS AND PURLINS, COLOURBOND STEEL ROOF CLADDING AND WALLS TO THREE SIDES AND TO SHOP.  
 1No. SHOP ENCLOSED BAY WITH A DOOR (NOM. 5m WIDTH)  
 5No. OPEN BAYS; CONSISTING OF

- 2 BAYS FOR COLD-MIX BITUMEN STORAGE,
  - 4m minimum height clearance required for front end loader at Roller shutter doors.
  - 2No. 4m x 5m x 1.6m MINIMUM concrete bay walls Kolmix 1200kg and crushed rock 1000kg
- 3-BAYS FOR VEHICLE PARKING
  - 3No. 4m width, 10m deep (12m x 10m total)
- 1-BAY ENCLOSED WORKSHOP AREA.
  - 1No. 5m width, 10m deep

INTERNAL LIGHTING TO WORKSHOP AND HIGH-BAY LIGHTING TO OPEN BAYS, EXTERNAL FLOOD LIGHTING  
 GPOS LOCATIONS & HEIGHTS.

MOTORIZED ROLLER SHUTTER DOORS TO EACH OPEN BAY (5 BAYS).  
 NEW SUB-BOARD TO POWER THE NEW SHED AND OFFICE RELOCATION.  
 NEW SINKS, AND TAPS.

(\*THERE IS AN EXISTING EYE-WASH & SAFETY SHOWER NEXT TO THE TOILETS).  
 CONCRETE SLAB TO WAREHOUSE, WITH 3m CONCRETE APRON  
 SUITABLE FOR FRONT END LOADER (12,000KG OPERATING WEIGHT).

**MAKE GOOD TO RELOCATED PORTABLE OFFICE:**

HYDRAULIC: CAP AND SEAL EXISTING WATER & SEWER RECONNECTIONS FOR OFFICE RELOCATION.

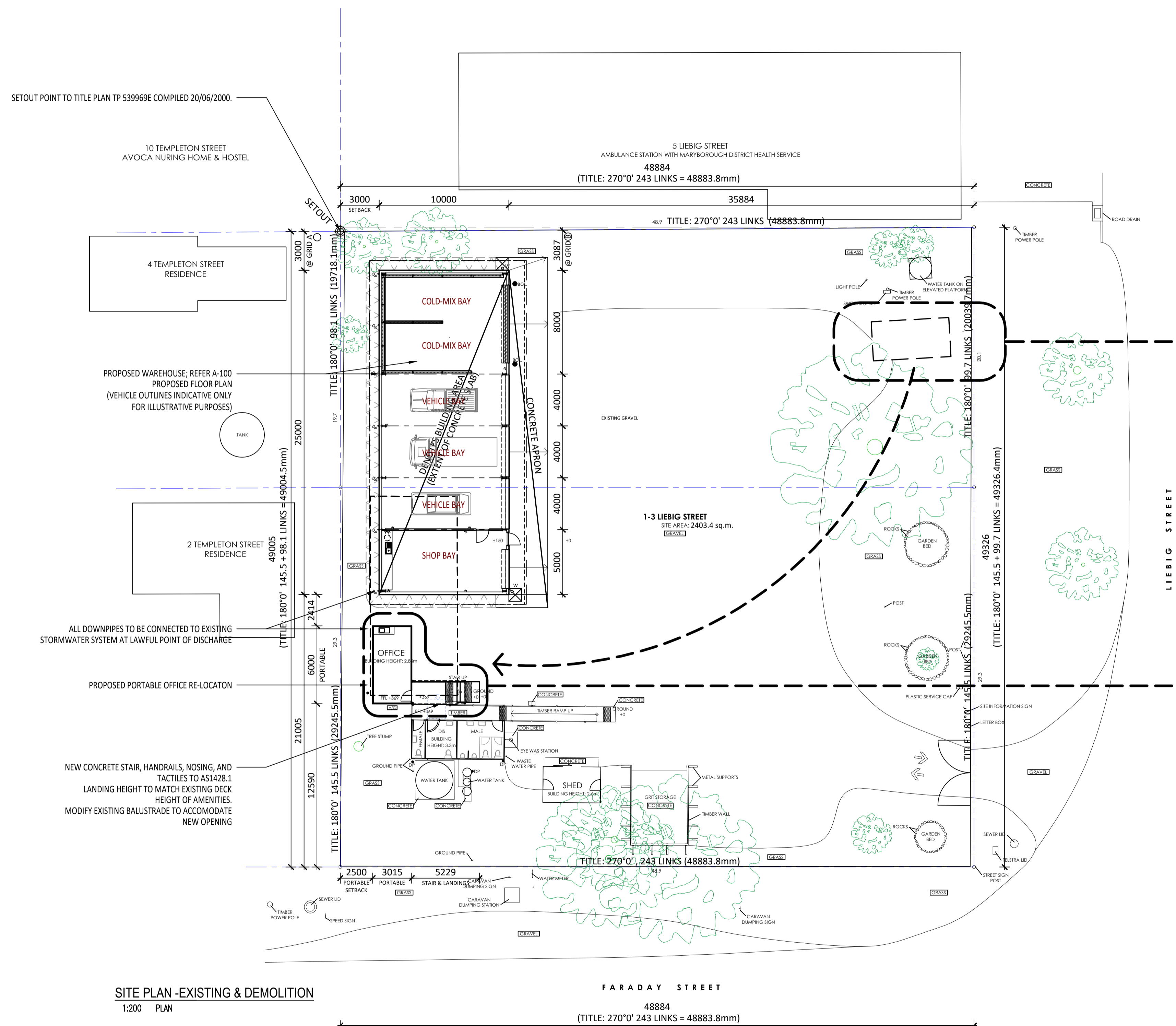
ELECTRICAL: REMOVE ELECTRICAL CABLES AND MAKE REDUNDANT.  
 REMOVE ALL NON NATURAL MATERIALS, RUBBISH, CONCRETE, FOOTINGS, TIMBER, RUBBLE, PAD FOOTING AND THE LIKE.

**PROPOSED RELOCATED PORTABLE OFFICE LOCATION:**

FINISHED FLOOR LEVEL HEIGHT TO MATCH THE LEVEL OF THE EXISTING TIMBER DECK TO THE EXISTING TOILETS.

HYDRAULIC: WATER & SEWER RECONNECTIONS FOR OFFICE RELOCATION.  
 ELECTRICAL: RECONNECTIONS FOR EXTERNAL & INTERNAL LIGHTING, GPOS & AC.  
 PAD FOOTINGS FOR PORTABLE RELOCATABLE OFFICE ON SKIDS.

NEW STEPS AND LANDING FOR DISABILITY COMPLIANCE. CONNECT TO THE EXISTING RAMP TO THE AMENITIES.



**SITE PLAN -EXISTING & DEMOLITION**  
 1:200 PLAN

**PROPOSED SITE AND SETOUT PLAN**  
 1:100

**FPPV ARCHITECTURE**  
 76 Hoddle Street, Abbotsford VIC 3067  
 03 9854 6400 - Tel  
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NO.	DATE	ITEM	NO.	DATE	ITEM
0	20.02.24	TOWN PLANNING			

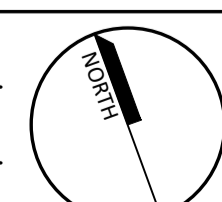
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 The Builder/Contractor shall confirm all levels, dimensions & information within these documents prior to commencement of work on site. Any discrepancies shall be submitted to FPPV Pty Ltd. in a written request for instructions. Dimensioned distances take precedence over scaled distances.

CLIENT  
**Department of Energy, Environment and Climate Action (DEECA)**  
 PROJECT ADDRESS  
**1-3 LIEBIG STREET, AVOCA, VICTORIA 3467**

PROJECT CAPTAIN  
**SP**  
 DRAWN  
**SP**  
 CHECKED BY  
**PV**  
 PLOT DATE  
**20.02.2024**

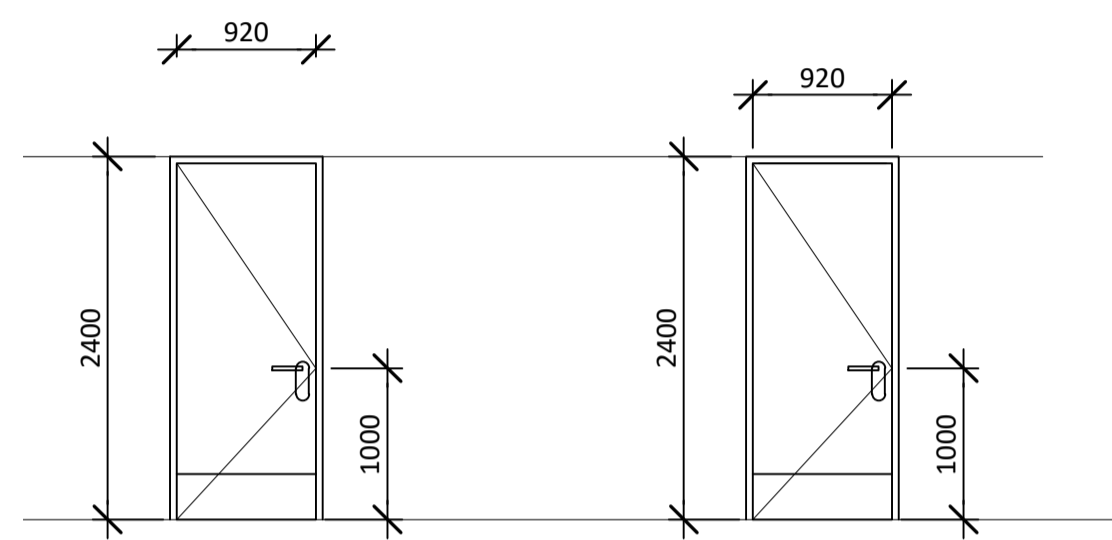
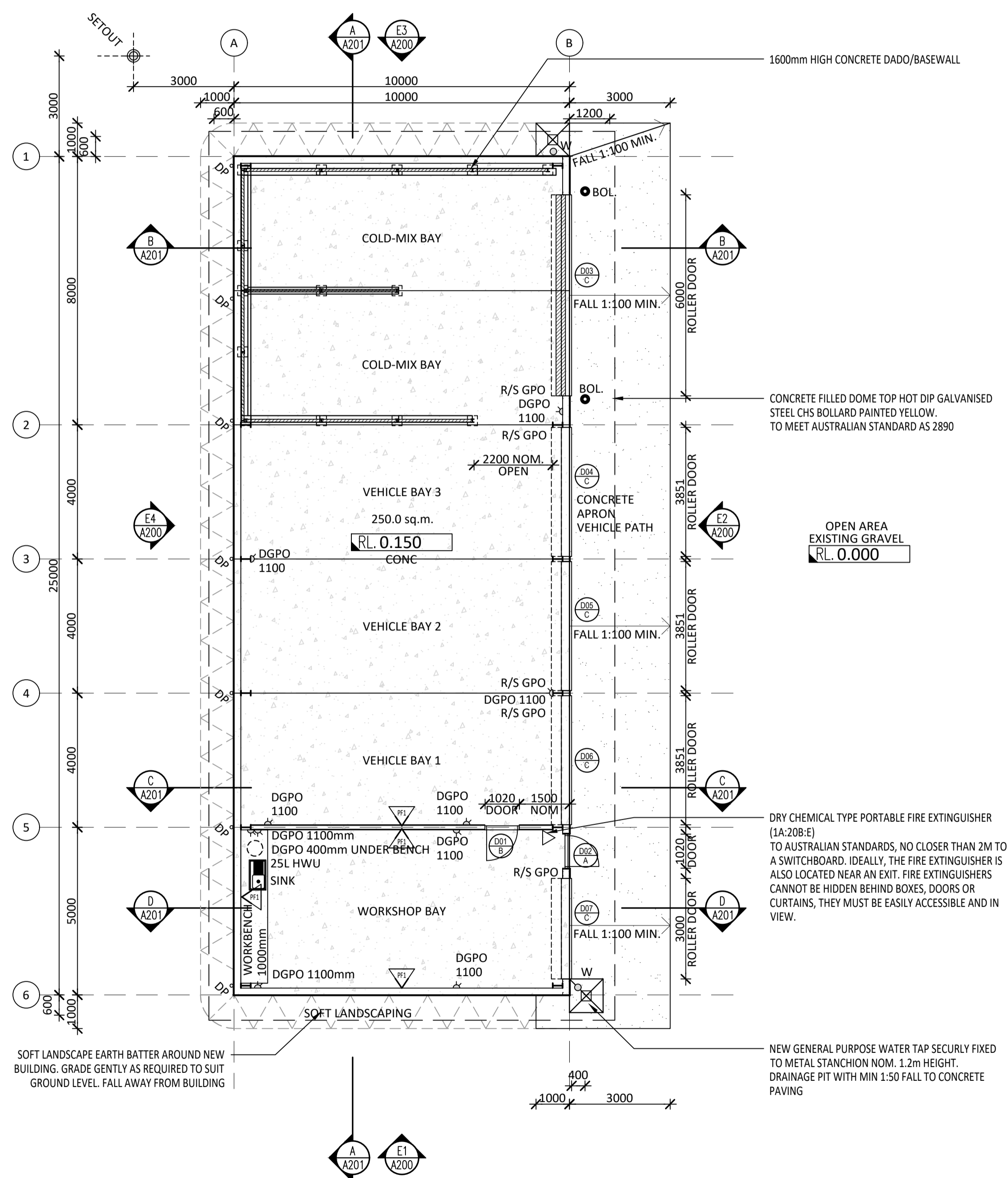
PROJECT TITLE  
**VICROADS AVOCA DEPOT - NEW WAREHOUSE, AND OFFICE PORTABLE RELOCATION.**  
 DRAWING  
**PROPOSED SITE AND SETOUT PLAN**

PROJECT No.  
**43097**  
 SCALE  
**1:200**  
 DRAWING NUMBER  
**A - 050**  
 TOWN PLANNING



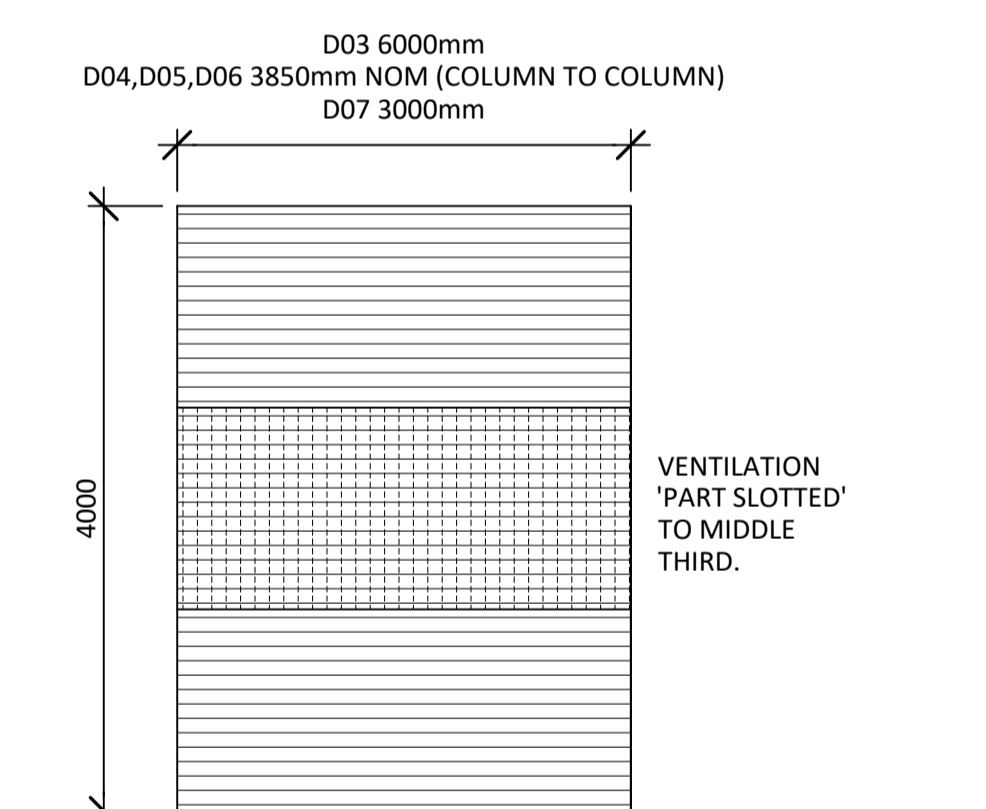
FINISHES:	
	INTERNAL WALL SHEETING, 'WHITE' (WHITE INDICATIVE), PAINT FINISH.
	WALL & ROOF SHEETING: COLORBOND CUSTOM ORB, 'SURFMIST' (CREAM/WHITE INDICATIVE)
	COLORBOND ROLLER DOORS, DOOR LEAF, DOOR FRAMES, RAIN WATER GOODS: GUTTERS, DOWNPIPES, 'MONUMENT' (DARK GREY INDICATIVE)
	SOFFIT LINING LYSAGHT PANELRIB ON GALVANISED TOP HATS OR SIMILAR APPROVED. COLOUR: 'SURFMIST'
DOOR LEAF & ROLLER SHUTTER DOORS: TO MATCH COLORBOND "MONUMENT"	
STRUCTURAL STEEL: HOT DIP GALVANISED.	

LEGEND	
DP	100mm DIAMETER COLORBOND METAL DOWNPIPE, COLOUR 'MONUMENT'.
DGPO	15AMP DOUBLE SOCKET GENERAL POWER OUTLET. EXTERNAL WEATHERPROOF GRADE, IN DUST AND WATER RESISTANT BOX. TYP. 1100MM AFFL UNO
R/S GPO	GPO AND ISOLATOR FOR ROLLER SHUTTER AS REQUIRED BY MANUFACTURER
W	NEW GENERAL PURPOSE WATER TAP ADJACENT TO COLUMN.
SINK	NEW SINGLE BOWL SINK, GRADE 316 ACID RESISTANT STAINLESS STEEL, EASY CLEAN, WITH DRAINING BOARD. TAPHOLES AS REQUIRED TO SUIT TAPWARE TO BE MIXER WITH DUAL LEVER ACTION WITH EXTENDED LEVER, LAB-TYPE HIGH SPOUT (300mm CLEAR) SUCH AS DORF MAXIMUS (OR EQUAL APPROVED). SINK TO BE MOUNTED IN HEAVY DUTY TIMBER BENCHTOP (SUCH AS AUSTRALIAN HARDWOOD (JARRAH, EUROPEAN BEECH, MAPLE, IRON BARK, BRUSHBOX) WITH METAL FRAME, FIXED TO FLOOR. CONNECT TO MAINS WATER SUPPLY. HOT WATER SERVICE 25 LITRE ELECTRIC UNIT.
CONC	STEEL FLOAT CONCRETE WITH SEALANT. REFER TO GENERAL NOTES.
P1	18mm PLYWOOD, PAINT FINISH. REFER TO GENERAL NOTES; WALL CLADDING INTERNAL TO WORKSHOP / OFFICE.



**DOOR D01 TYPE B**  
 FRAME: PRESSED METAL  
 FRAME FINISH: PAINT EXTERNAL GRADE, SEMI GLOSS 'MONUMENT'  
 CORE: SOLID CORE  
 FINISH DOOR: PAINT EXTERNAL GRADE, DOOR CLOSER  
 KICK PLATES: STAINLESS STEEL  
 SIZE: 920x2350  
 THICKNESS: 45  
 INTERNAL DOOR WORKSHOP: D01  
 REFER DOOR NOTES

**DOOR D02 TYPE A**  
 FRAME: PRESSED METAL  
 FRAME FINISH: PAINT EXTERNAL GRADE, SEMI GLOSS 'MONUMENT'  
 CORE: SOLID CORE  
 FINISH DOOR: PAINT EXTERNAL GRADE, 'MONUMENT'  
 DOOR CLOSER  
 KICK PLATES: STAINLESS STEEL  
 SIZE: 920x2350  
 THICKNESS: 45  
 EXTERNAL WEATHER STRIPS  
 EXTERNAL DOOR WORKSHOP: D02  
 REFER DOOR NOTES



**DOOR TYPE C**  
 \* VARIOUS WIDTHS  
 ROLLER SHUTTER DOOR:  
 AIRPORT DOORS, SERIES 100 STEEL,  
 1.0mm THICK 100mm HIGH SLATS  
 FINISH: POWDER COATED STEEL 'MONUMENT'  
 VENTILATION 'PART SLOTTED' TO MIDDLE THIRD.  
 INCLUSIVE OF BOTTOM RAILS, DOOR GUIDES.  
 CONTRACTOR RESPONSIBLE FOR SUPPORTS AND FIXING REQUIREMENTS  
 MOTORISATION: ELECTRICALLY OPERATED:  
 HEAVY DUTY 240v  
 CONTRACTOR TO SUPPLY MAINS POWER AND ISOLATOR  
 GPO AS REQUIRED  
 REMOTE ACCESS CONTROLLERS  
 DOOR WORKSHOP/VEHICLE BAYS/COLD-MIX:  
 D03, D04, D05, D06, D07 (EXTERNAL WALLS)

PROPOSED FLOOR PLAN  
 1:100

**FPPV ARCHITECTURE**  
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 03 9854 6400 - Tel  
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NO.	DATE	ITEM	NO.	DATE	ITEM
0	20.02.24	TOWN PLANNING			

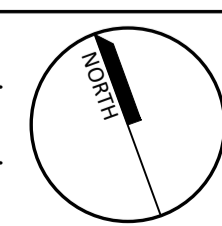
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CLIENT  
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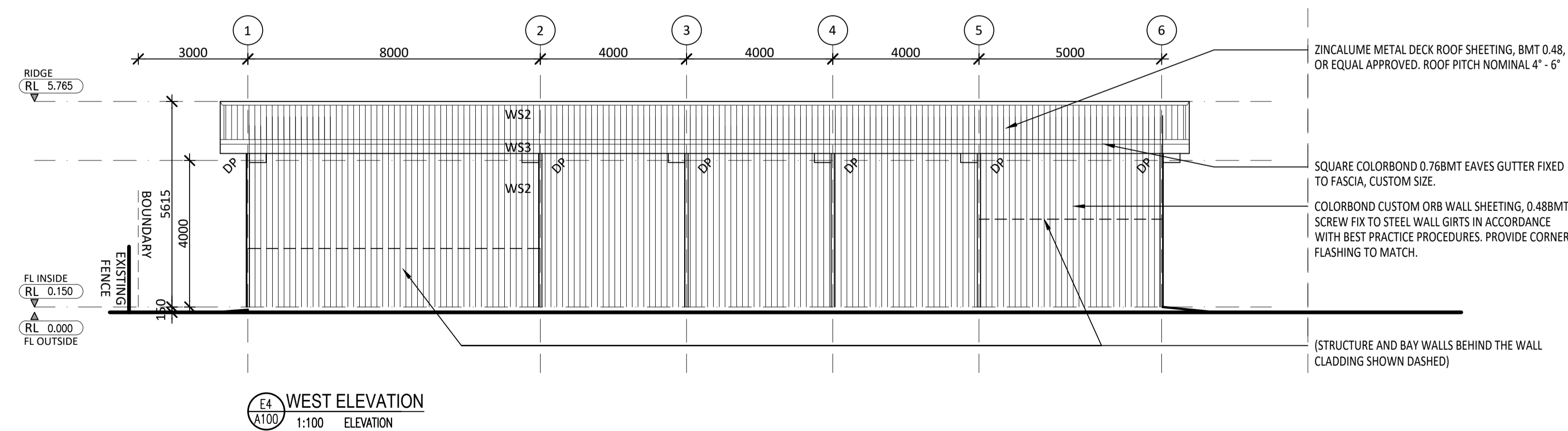
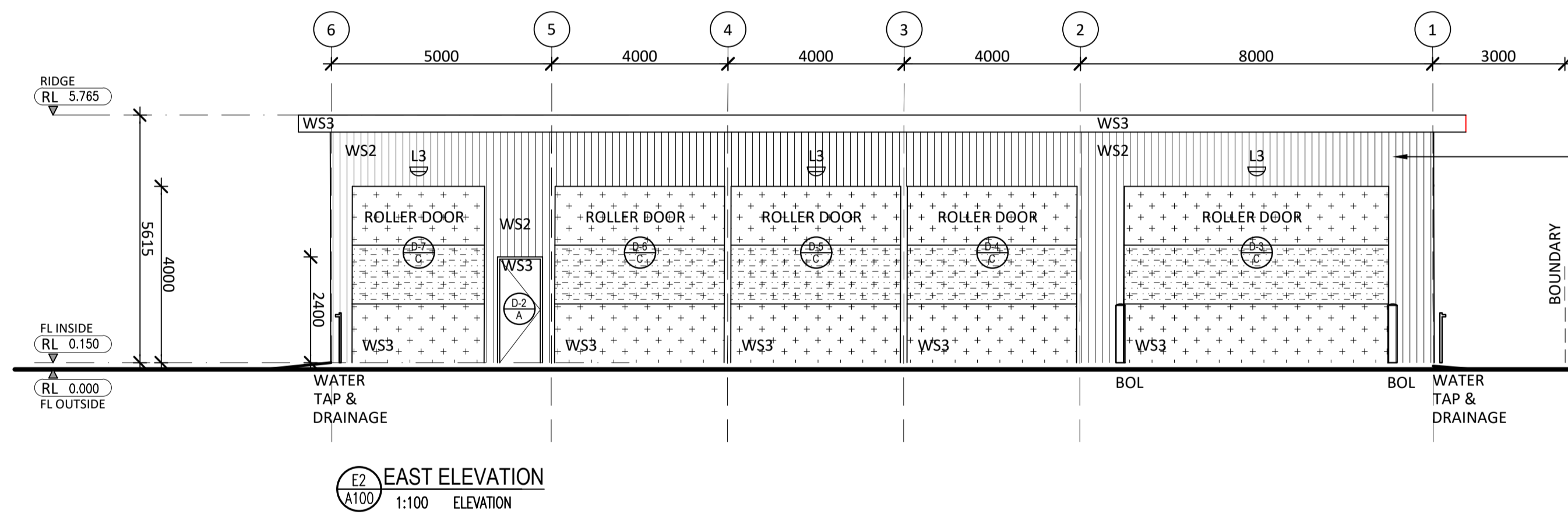
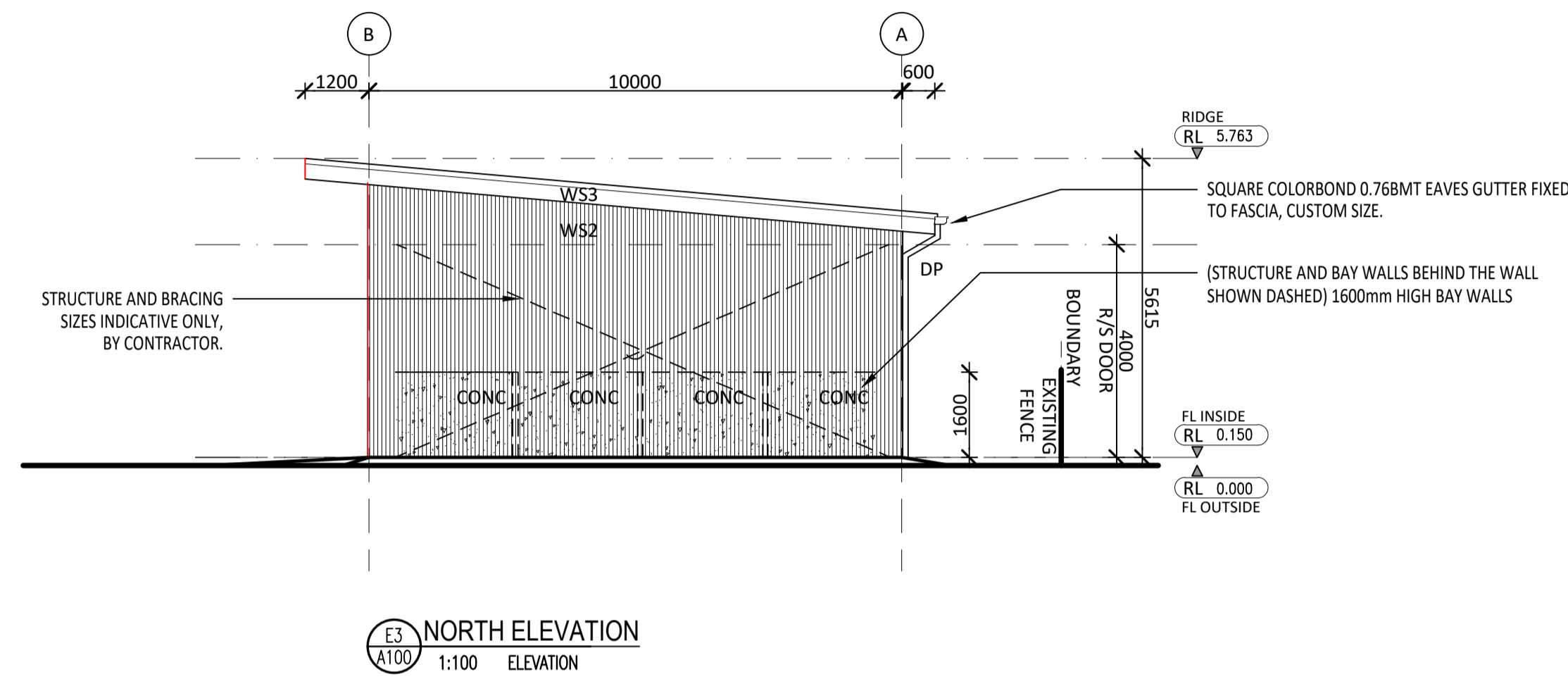
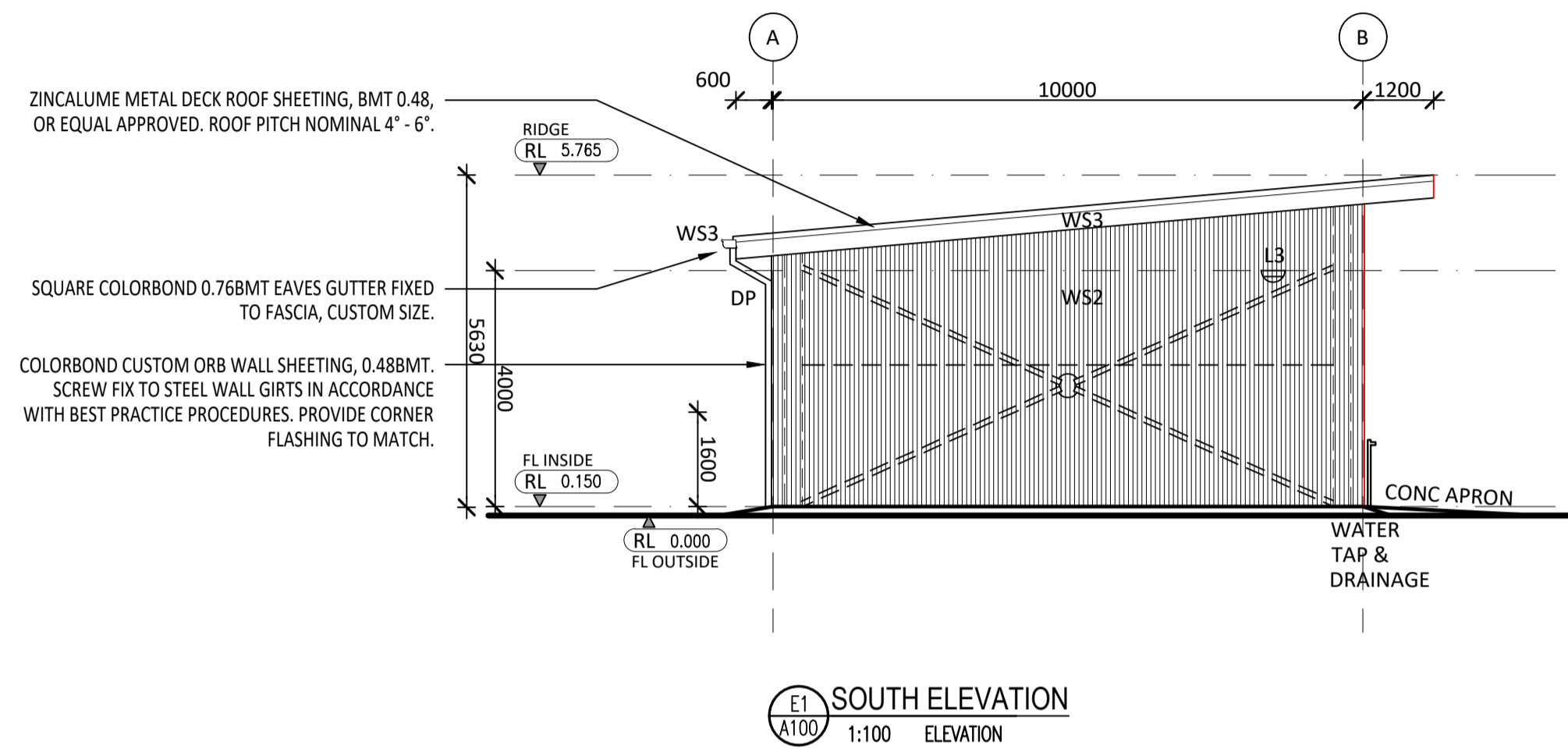
PROJECT CAPTAIN  
 SP  
 DRAWN  
 SP  
 CHECKED BY  
 PV  
 PLOT DATE  
 20.02.2024

PROJECT TITLE  
 VICROADS AVOCA DEPOT - NEW WAREHOUSE, AND OFFICE PORTABLE RELOCATION.  
 DRAWING  
 PROPOSED FLOOR PLAN

PROJECT No.  
 43097  
 SCALE  
 1:100  
 SHEET SIZE  
 A1  
 DRAWING NUMBER  
 A - 100  
 REVISION  
 0  
 DRAWING TYPE  
 TOWN PLANNING



ELEVATION LEGEND	GENERAL NOTES
DOOR NUMBER AND DOOR TYPE. REFER TO DOOR HARDWARE SPECIFICATION 12858AA BY ENTRO FOR DETAILS	DOOR LEAF, DOOR FRAMES, & ROLLER SHUTTER DOORS: TO MATCH COLORBOND "MONUMENT"  GUTTERS, DOWNPIPES, FASCIA TO BE 'MONUMENT' (DARK GREY INDICATIVE).  STRUCTURAL STEEL: HOT DIP GALVANISED.  CONTRACTOR TO ENSURE PAINT AND ANY ASSOCIATED PREPARATION MATERIALS SELECTED ARE APPROPRIATE AND SHALL MINIMISE MAINTENANCE REQUIREMENTS.
PAINT FINISH 'SURFMIST' (CREAM/WHITE INDICATIVE)	
COLORBOND CUSTOM ORB WALL SHEETING, 'SURFMIST' (CREAM/WHITE INDICATIVE)	
COLORBOND CUSTOM ORB WALL SHEETING, 'MONUMENT' (DARK GREY INDICATIVE)	



**TENDER ISSUE**  
NOT TO BE USED FOR CONSTRUCTION PURPOSES

**FPPV ARCHITECTURE**  
76 Hoddle Street, Abbotsford VIC 3067  
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www.fppv.com.au

CLIENT'S LOGO	LOCALITY PLAN

NO.	DATE	ITEM	SP
0	20.02.24	TOWN PLANNING	SP

NO.	DATE	ITEM	C
			C

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**CLIENT**  
Department of Energy, Environment and Climate Action (DEECA)  
  
**PROJECT ADDRESS**  
1-3 LIEBIG STREET, AVOCA, VICTORIA 3467

**PROJECT CAPTAIN**  
SP  
**DRAWN**  
SP  
**CHECKED BY**  
PV  
**PLOT DATE**  
20.02.2024

**PROJECT TITLE**  
VICROADS AVOCA DEPOT - NEW WAREHOUSE, AND OFFICE PORTABLE RELOCATION.  
  
**DRAWING**  
PROPOSED EXTERNAL ELEVATIONS


PROJECT No.	SCALE	SHEET SIZE
43097	1:100	A1
DRAWING NUMBER	REVISION	
A - 200	0	
DRAWING TYPE	TOWN PLANNING	


**Office Use Only**

VicSmart: **No**  
Specify class of VicSmart application:  
Application No: **REFPA20240022**  
Date Lodged: **19/02/2024**

# Application for Planning Permit

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

 Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.


 Questions marked with an asterisk (\*) are mandatory and must be completed.

 If the space provided on the form is insufficient, attach a separate sheet.

## Application type

Is this a VicSmart Application?\*

No  
If yes, please specify which VicSmart class or classes:

 If the application falls into one of the classes listed under Clause 92 or the schedule to Clause 94, it is a VicSmart application

## Pre-application meeting

Has there been a pre-application meeting with a Council planning officer?

False

If 'yes', with whom?:

Date:

day / month / year

## The Land


Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address\*

Unit No:	St. No: <b>1</b>	St. Name: <b>LIEBIG STREET</b>
Suburb/Locality: <b>AVOCA</b>		Postcode: <b>3467</b>

Formal Land Description\*

Complete either A or B

 This information can be found on the certificate of title.


**A**   Lodged Plan  Title Plan  Plan of Subdivision


**OR**

**B**


If this application relates to more than one address, please attach details.


## The Proposal

 You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.


 For what use, development or other matter do you require a permit?\*

The Proposal is to construct a warehouse shed to replace the dilapidated warehouse shed that required demolition. The Proposed warehouse is to consist of 6 bays in total: 2 bays for roads materials storage (cold-mix bitumen), 3-bays for Vehicles, 1 bay enclosed workshop area. The New warehouse is proposed to be a contemporary modern steel portal frame construction. Also, to relocate a small existing portable used as an office.

 Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

 Estimated cost of development for which the permit is required\*

Cost **\$775,000.00**

 You may be required to verify this estimate  
Insert '0' if no development is proposed


Insert '0' if no development is proposed (eg. change of use, subdivision, removal of covenant, liquor licence)

## Existing Conditions

Describe how the land is used and developed now\*

Eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

The Site is comprised of an asphalt/gravel driveway and vehicle parking area, a site office (portable) an amenities block, a vehicle wash bay, several small storage sheds (to be removed by DTP). The Site is used for storage of Department of Transport and Planning road maintenance work, equipment and materials as a VicRoads Depot.

 Provide a plan of the existing conditions. Photos are also helpful.


## Title Information

Encumbrances on title\*

If you need help about the title, read: [How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes. (if 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments' eg restrictive covenants.)

## Applicant and Owner Details

Provide details of the applicant and the owner of the land.

**Applicant \***

The person who wants the permit

Name:		
Title:	First Name: <b>Stuart</b>	Surname: <b>Peele</b>
Organisation (if applicable): <b>FPPV</b>		
Postal Address		If it is a PO Box, enter the details here:
Unit No:	St. No: <b>76</b>	St. Name: <b>Hoddle Street</b>
Suburb/Locality: <b>Abbotsford</b>		State: <b>VIC</b>
		Postcode: <b>3067</b>

**Owner \***

The person or organisation who owns the land

Name:		
Title: -	First Name: <b>The Head,</b>	Surname: <b>Transport for Victoria</b>
Organisation (if applicable): <b>Department of Transport and Planning</b>		

Where the owner is different from the applicant, provide the details of that person or organisation.

Postal Address		If it is a PO Box, enter the details here:	
Unit No.:	St. No.: 1	St. Name: <b>Spring Steet</b>	
Suburb/Locality: <b>Melbourne</b>		State: <b>Vic</b>	Postcode: <b>3000</b>
Owner's Signature (optional):		Date:	
		day / month / year	

## Information Requirements


Is the required information provided?

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist.

- Yes  
 No

## Declaration

This form must be signed by the applicant\*

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

I declare that I am the applicant; and that all the information in this application is true and correct and the owner (if not myself) has been notified of the permit application.

Signature:



Date: 19 February 2024

day / month / year

---

## Checklist

Have you:

<input type="checkbox"/>	Filled in the form completely?	 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.
<input type="checkbox"/>	Paid or included the application fee?	
	Provided all necessary supporting information and document?	
<input type="checkbox"/>	A full and current copy of the information for each individual parcel of land forming the subject site.	
<input type="checkbox"/>	A plan of existing conditions.	
<input type="checkbox"/>	Plans showing the layout and details of the proposal.	
<input type="checkbox"/>	Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.	
<input type="checkbox"/>	If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).	

---

## Lodgement

Lodge the completed and signed form and all documents with:

Pyrenees Shire Council  
5 Lawrence Street BEAUFORT Vic 3373  
  
Telephone: (03) 5349 1100  
  
**Contact information:**  
Telephone: (03) 5349 1100  
Email: [pyrenees@pyrenees.vic.gov.au](mailto:pyrenees@pyrenees.vic.gov.au)



**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

VOLUME 07439 FOLIO 680

Security no : 124113019481R  
Produced 28/02/2024 03:17 PM

**LAND DESCRIPTION**

Lots 1 and 2 on Title Plan 539969E.

PARENT TITLES :

Volume 04687 Folio 357      Volume 06888 Folio 408

Created by instrument 2326371 18/08/1950

**REGISTERED PROPRIETOR**

Estate Fee Simple

Sole Proprietor

ROADS CORPORATION of 60 DENMARK STREET KEW VIC 3101  
AM708415X 16/04/2016

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE TP539969E FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

**ADMINISTRATIVE NOTICES**

NIL

eCT Control      00026E HEAD, TRANSPORT FOR VICTORIA  
Effective from 16/04/2016

DOCUMENT END